

PROBABLE COST	
Project ID:	*****
Location:	Los Angeles, CA 90065
Scope of work:	Everything
Date:	3/1/2024



DIVISION NO.	BUILDING COMPONENTS	TOTAL DIV. COST
Div. 01	General Requirements	\$ 9,837
Div. 02	Site Work / Demolition	\$ 32,876
Div. 03	Concrete	\$ 54,690
Div. 05	Metals	\$ 18,272
Div. 06	Wood, Plastics and Composites	\$ 32,624
Div. 07	Thermal and Moisture Protection	\$ 9,707
Div. 08	Openings	\$ 28,084
Div. 09	Finishes	\$ 107,814
Div. 10	Specialties	\$ 5,739
Div. 11	Equipment	\$ 3,654
Div. 22	Plumbing	\$ 2,994
Div. 25	HVAC/Mechanical	\$ 11,518
Div. 26	Electrical	\$ 3,413
Projected Cost		\$ 321,222
Insurance	3%	\$ 9,637
Contingency	5%	\$ 16,061
Overhead and Profit	15%	\$ 48,183
TAX	0.00%	\$ -
Suggested Bid		\$ 395,103

Item #	Ref. Sheet	Item Description	Unit	Quantity	Wastage	Quantity w/ Wastage	Unit Material Cost	Total Material Cost	Unit Manhour	Hourly Wage	Unit Labor Cost	Total Labor Cost	Sub Cost	Total Trade Cost
--------	------------	------------------	------	----------	---------	------------------------	-----------------------	------------------------	-----------------	-------------	--------------------	---------------------	----------	------------------

Building Data Summary	
Project ID:	*****
Location:	Los Angeles, CA 90065
Scope of Work:	Everything
Date:	3/1/2024



Bid Detail			
Projected Cost		\$	321,222
Insurance	3%	\$	9,637
Contingency	5%	\$	16,061
Overhead and Profit	15%	\$	48,183
Tax	0.00%	\$	-
Suggested Bid		\$	395,103

Item #	Ref. Sheet #	Item Description	Unit	Quantity	Wastage	Quantity w/ Wastage	Unit Material Cost	Total Material Cost	Unit Manhour	Hourly Wage	Unit Labor Cost	Total Labor Cost	Sub Cost	Total Trade Cost	
DIVISION.01 GENERAL REQUIREMENTS															
1		Supervision and Coordination	LS	1	0%	1	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -	4,500.00	
2		Submittals and Shop drawings	LS	1	0%	1	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -	500.00	
3		Final Cleaning	LS	1	0%	1	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -	2,000.00	
4		Mobilization Costs	LS	1	0%	1	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -	1,000.00	
5		Temporary Control & Facilities	LS	1	0%	1	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -	500.00	
6		Scaffolding	SF	715	0%	715	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -	1,337.05	
Subtotal (General Requirements)														\$	9,837

DIVISION.02 SITE WORK/EXISTING CONDITION															
Site Work															
Landscaping															
7		Mulching	SF	3198	0%	3198	\$ 1.25	\$ 3,997.50	0.018	\$ 62.00	\$ 1.12	\$ 3,568.97	\$ -	7,566.47	
8		A Common Name: California Coffeberry Scientific Name: Rhamus Californica	EA	4	0%	4	\$ 23.62	\$ 94.48	0.250	\$ 65.00	\$ 16.25	\$ 65.00	\$ -	159.48	
9		B Common Name: Rosa Californica Scientific Name: Wild Rose	EA	4	0%	4	\$ 33.62	\$ 134.48	0.250	\$ 65.00	\$ 16.25	\$ 65.00	\$ -	199.48	
10		C Common Name: Lupinus latifolius Scientific Name: Sky Lupine	EA	9	0%	9	\$ 43.62	\$ 392.58	0.250	\$ 65.00	\$ 16.25	\$ 146.25	\$ -	538.83	
11		D Common Name: Flowering Ash Scientific Name: Fraxinus Dipetala	EA	3	0%	3	\$ 53.62	\$ 160.86	0.250	\$ 65.00	\$ 16.25	\$ 48.75	\$ -	209.61	
12		E Common Name: Matilija Poppy Scientific Name: Romneya	EA	3	0%	3	\$ 32.36	\$ 97.08	0.250	\$ 65.00	\$ 16.25	\$ 48.75	\$ -	145.83	
13		F Common Name: St.Catherine's Lace Scientific Name: Eriogonum Giganteum	EA	4	0%	4	\$ 53.62	\$ 214.48	0.250	\$ 65.00	\$ 16.25	\$ 65.00	\$ -	279.48	
Irrigation															
14		Water Meter	EA	1	0%	1	\$ 134.62	\$ 134.62	0.250	\$ 65.00	\$ 16.25	\$ 16.25	\$ -	150.87	
15		Irrigation Controller	EA	1	0%	1	\$ 155.00	\$ 155.00	0.250	\$ 65.00	\$ 16.25	\$ 16.25	\$ -	171.25	
16		Manual Shut-Off Valve	EA	1	0%	1	\$ 23.25	\$ 23.25	0.250	\$ 65.00	\$ 16.25	\$ 16.25	\$ -	39.50	
17		(1/2" Dia) gpa Drip Manuf:RAIN Bird Model:SW05	EA	30	0%	30	\$ 15.25	\$ 457.50	0.250	\$ 65.00	\$ 16.25	\$ 487.50	\$ -	945.00	
18		(1" Dia) gpa Drip Manuf:RAIN Bird Model:SW10	EA	12	0%	12	\$ 21.25	\$ 255.00	0.250	\$ 65.00	\$ 16.25	\$ 195.00	\$ -	450.00	
Water Supply Pipe															
19		(1/2" Dia) Supply Pipe (Supply Hose)	LF	91	0%	91	\$ 3.20	\$ 291.20	0.250	\$ 65.00	\$ 16.25	\$ 1,478.75	\$ -	1,769.95	
20		(1/4" Dia) Supply Pipe (Supply Hose)	LF	128	0%	128	\$ 4.20	\$ 537.60	0.250	\$ 65.00	\$ 16.25	\$ 2,080.00	\$ -	2,617.60	
21		(3/4" Dia) Supply Pipe (Supply House)	LF	240	0%	240	\$ 6.20	\$ 1,488.00	0.250	\$ 65.00	\$ 16.25	\$ 3,900.00	\$ -	5,388.00	
Connections															
22		Tee	EA	25	0%	25	\$ 45.50	\$ 1,137.50	0.250	\$ 65.00	\$ 16.25	\$ 406.25	\$ -	1,543.75	
23		(45 D) Bend	EA	5	0%	5	\$ 38.50	\$ 192.50	0.250	\$ 65.00	\$ 16.25	\$ 81.25	\$ -	273.75	
24		(90 D) Bend	EA	6	0%	6	\$ 38.50	\$ 231.00	0.250	\$ 65.00	\$ 16.25	\$ 97.50	\$ -	328.50	
Padestrain Walk Way															
25		(10" Thick) Concrete Driveway w/ #5 @ 6" O.C Each Way Top & Bottom (372 SF)	CY	11.43	0%	11	\$ 298.65	\$ 3,413.57	2.850	\$ 65.00	\$ 185.25	\$ 2,117.41	\$ -	5,530.98	
Concrete Slab @ Grade Stair															
26		Concrete Slab @ Grade Stair (112 SF)	CY	4.14	0%	4	\$ 298.65	\$ 1,236.41	2.850	\$ 65.00	\$ 185.25	\$ 766.94	\$ -	2,003.35	
Excavation															
27		Excavation @ Footing	CY	50.29	0%	50	\$ -	\$ -	0.850	\$ 60.00	\$ 51.00	\$ 2,564.79	\$ -	2,564.79	
Subtotal (General Requirements)														\$	18,232

DIVISION 03- CONCRETE														
Foundation														
Continuous Footing														
28		GB-5 (24" W x 24" D) Grade Beam w/ (4) - #6 Top, (4) - #6 Bottom & #4 Ties @ 12" O.C (24 LF)	CY	3.56	0%	4	\$ 298.65	\$ 1,063.19	2.850	\$ 85.00	\$ 242.25	\$ 862.41	\$ -	1,925.60
29		GB-6 (24" W x 24" D) Grade Beam w/ (3) - #6 Top, (3) - #6 Bottom & #4 Ties @ 12" O.C (49 LF)	CY	7.26	0%	7	\$ 298.65	\$ 2,168.20	2.850	\$ 85.00	\$ 242.25	\$ 1,758.74	\$ -	3,926.93
30		GB-7 (24" W x 24" D) Grade Beam w/ (3) - #6 Top, (3) - #6 Bottom & #4 Ties @ 12" O.C (24 LF)	CY	3.56	0%	4	\$ 298.65	\$ 1,063.19	2.850	\$ 85.00	\$ 242.25	\$ 862.41	\$ -	1,925.60
Pile Footing														
31		P-1 (30" Dia x 14' L) Pile Footing w/ (11) - #10 Vertical Rebars & #4 Ties @ 5" O.C (1 EA)	CY	2.54	0%	3	\$ 298.65	\$ 758.57	2.850	\$ 85.00	\$ 242.25	\$ 615.32	\$ -	1,373.89
32		P-2 (30" Dia x 14' L) Pile Footing w/ (11) - #10 Vertical Rebars & #4 Ties @ 5" O.C (1 EA)	CY	2.54	0%	3	\$ 298.65	\$ 758.57	2.850	\$ 85.00	\$ 242.25	\$ 615.32	\$ -	1,373.89
33		P-3 (30" Dia x 14' L) Pile Footing w/ (11) - #10 Vertical Rebars & #4 Ties @ 5" O.C (1 EA)	CY	2.54	0%	3	\$ 298.65	\$ 758.57	2.850	\$ 85.00	\$ 242.25	\$ 615.32	\$ -	1,373.89
Pile Cap														
34		P-4 (36" Dia x 17" L) Pile Footing w/ (15) - #10 Vertical Rebars & #4 Ties @ 5" O.C (1 EA)	CY	4.45	0%	4	\$ 298.65	\$ 1,328.99	2.850	\$ 85.00	\$ 242.25	\$ 1,078.01	\$ -	2,407.01
35		P-5 (36" Dia x 17" L) Pile Footing w/ (15) - #10 Vertical Rebars & #4 Ties @ 5" O.C (1 EA)	CY	4.45	0%	4	\$ 298.65	\$ 1,328.99	2.850	\$ 85.00	\$ 242.25	\$ 1,078.01	\$ -	2,407.01
Elevator Pit Concrete Slab														
36		(4" Thick) Elevator Pit Concrete Slab w/ Reinforcement (130 SF)	CY	1.61	0%	2	\$ 298.65	\$ 480.83	2.850	\$ 85.00	\$ 242.25	\$ 390.02	\$ -	870.85
37		(24" Thick) Elevator Pit Concrete Slab w/ Reinforcement (130 SF)	CY	9.62	0%	10	\$ 298.65	\$ 2,873.01	2.850	\$ 85.00	\$ 242.25	\$ 2,330.45	\$ -	5,203.46
Concrete Wall														
38		(10" Thick) Concrete Wall w/ #4 @ 16" O.C Horizontally & #6 @ 8" O.C Vertically Reinforcement (32 LF) (14'-4" H)	CY	14.09	0%	14	\$ 298.65	\$ 4,207.98	2.850	\$ 85.00	\$ 242.25	\$ 3,413.30	\$ -	7,621.28
39		(8" Thick) Concrete Wall w/ #4 @ 16" O.C Horizontally & #6 @ 8" O.C Vertically Reinforcement (54 LF) (16'-8" H)	CY	22.23	0%	22	\$ 298.65	\$ 6,638.99	2.850	\$ 85.00	\$ 242.25	\$ 5,385.22	\$ -	12,024.21
40		(8" Thick) Concrete Wall w/ #4 @ 16" O.C Horizontally & #6 @ 8" O.C Vertically Reinforcement (6 LF) (9'-4" H)	CY	1.39	0%	1	\$ 298.65	\$ 415.12	2.850	\$ 85.00	\$ 242.25	\$ 336.73	\$ -	751.85

Project ID:	*****Data Summary
Location:	Los Angeles, CA 90065
Scope of Work:	Everything
Date:	3/1/2024



Bid Detail	
Projected Cost	\$ 321,222
Insurance	3% \$ 9,637
Contingency	5% \$ 16,061
Overhead and Profit	15% \$ 48,183
Tax	0.00% \$ -
Suggested Bid	\$ 395,103

Item #	Ref. Sheet #	Item Description	Unit	Quantity	Wastage	Quantity w/ Wastage	Unit Material Cost	Total Material Cost	Unit Manhour	Hourly Wage	Unit Labor Cost	Total Labor Cost	Sub Cost	Total Trade Cost
Upper Floor														
41		Continuous Footing GB-1 (24" W x 24" D) Grade Beam w/ (4) - #6 Top, (4) - #6 Bottom & #4 Ties @ 12" O.C (13 LF)	CY	1.93	0%	2	\$ 298.65	\$ 576.39	2.850	\$ 85.00	\$ 242.25	\$ 467.54	\$ 1,043.94	
42		GB-2 (24" W x 24" D) Grade Beam w/ (4) - #6 Top, (4) - #6 Bottom & #4 Ties @ 12" O.C (8 LF)	CY	1.19	0%	1	\$ 298.65	\$ 355.39	2.850	\$ 85.00	\$ 242.25	\$ 288.28	\$ 643.67	
43		GB-3 (24" W x 24" D) Grade Beam w/ (3) - #6 Top, (3) - #6 Bottom & #4 Ties @ 12" O.C (16 LF)	CY	2.37	0%	2	\$ 298.65	\$ 707.80	2.850	\$ 85.00	\$ 242.25	\$ 574.13	\$ 1,281.93	
44		GB-4 (24" W x 24" D) Grade Beam w/ (3) - #6 Top, (3) - #6 Bottom & #4 Ties @ 12" O.C (5 LF)	CY	0.75	0%	1	\$ 298.65	\$ 223.99	2.850	\$ 85.00	\$ 242.25	\$ 181.69	\$ 405.68	
45		(28" W x 14" D) Continuous Footing w/ Reinforcement (15 LF)	CY	1.5	0%	2	\$ 298.65	\$ 447.98	2.850	\$ 85.00	\$ 242.25	\$ 363.38	\$ 811.35	
46		Concrete Wall (10" Thick) Concrete Wall w/ #4 @ 16" O.C Horizontally & #6 @ 8" O.C Vertically Reinforcement (21 LF) (10'-0" H)	CY	6.45	0%	6	\$ 298.65	\$ 1,926.29	2.850	\$ 85.00	\$ 242.25	\$ 1,562.51	\$ 3,488.81	
47		Pile Footing P-6 (30" Dia x 13' L) Pile Footing w/ (10) - #10 Vertical Rebars & #4 Ties @ 5" O.C (1 EA)	CY	2.36	0%	2	\$ 298.65	\$ 704.81	2.850	\$ 85.00	\$ 242.25	\$ 571.71	\$ 1,276.52	
48		P-7 (30" Dia x 13' L) Pile Footing w/ (10) - #10 Vertical Rebars & #4 Ties @ 5" O.C (1 EA)	CY	2.36	0%	2	\$ 298.65	\$ 704.81	2.850	\$ 85.00	\$ 242.25	\$ 571.71	\$ 1,276.52	
49		P-8 (30" Dia x 13' L) Pile Footing w/ (10) - #10 Vertical Rebars & #4 Ties @ 5" O.C (1 EA)	CY	2.36	0%	2	\$ 298.65	\$ 704.81	2.850	\$ 85.00	\$ 242.25	\$ 571.71	\$ 1,276.52	
Subtotal (Concrete)								\$ 30,197			\$ 24,494		\$ 54,690	

DIVISION 05- METAL														
Lower Floor														
50		Steel Beam 1FB-5 W(10x26) Steel Beam (30 LF)	Lbs.	780	0%	780	\$ 1.87	\$ 1,458.60	0.012	\$ 65.00	\$ 0.78	\$ 608.40	\$ 2,067.00	
51		Connections (1/2" Thick) Stiffener Plate	EA	1	0%	1	\$ 17.85	\$ 17.85	0.075	\$ 65.00	\$ 4.88	\$ 4.88	\$ 22.73	
52		(11"x11"x5/8" Thick) A36 Plate	EA	1	0%	1	\$ 17.85	\$ 17.85	0.075	\$ 65.00	\$ 4.88	\$ 4.88	\$ 22.73	
53		Simpson "HW" Beam Hanger Skewed	EA	3	0%	3	\$ 0.85	\$ 2.55	0.025	\$ 65.00	\$ 1.63	\$ 4.88	\$ 7.43	
Upper Floor														
54		Steel Post HSS(4x4x1/2") Steel Column (11'-6" H) (5 EA)	Lbs.	1255	0%	1255	\$ 1.87	\$ 2,346.85	0.012	\$ 65.00	\$ 0.78	\$ 978.90	\$ 3,325.75	
55		Steel Beam 2FB-9 W(10x33) Steel Beam (18 LF)	Lbs.	594	0%	594	\$ 1.87	\$ 1,110.78	0.012	\$ 65.00	\$ 0.78	\$ 463.32	\$ 1,574.10	
56		2FB-10 W(10x33) Steel Beam (30 LF)	Lbs.	990	0%	990	\$ 1.87	\$ 1,851.30	0.012	\$ 65.00	\$ 0.78	\$ 772.20	\$ 2,623.50	
57		Connections (1/2" Thick) A36 Base Plate	EA	4	0%	4	\$ 17.85	\$ 71.40	0.075	\$ 65.00	\$ 4.88	\$ 19.50	\$ 90.90	
58		(5/8" Dia - 7" Embed) Anchor Bolt	EA	53	0%	53	\$ 29.85	\$ 1,582.05	0.150	\$ 65.00	\$ 9.75	\$ 516.75	\$ 2,098.80	
59		(3/4" Thick) Bearing Plate w/ (5/8" Dia) Anchor Bolt	EA	1	0%	1	\$ 29.85	\$ 29.85	0.150	\$ 65.00	\$ 9.75	\$ 9.75	\$ 39.60	
Roof														
60		Steel Column HSS(4x4x1/2") Steel Column (3 EA) (8'-8" H)	Lbs.	563	0%	563	\$ 1.87	\$ 1,052.81	0.012	\$ 65.00	\$ 0.78	\$ 439.14	\$ 1,491.95	
61		Connections Joist Hanger	EA	80	0%	80	\$ 17.85	\$ 1,428.00	0.075	\$ 65.00	\$ 4.88	\$ 390.00	\$ 1,818.00	
62		Simpson CC Cap	EA	5	0%	5	\$ 0.85	\$ 4.25	0.025	\$ 65.00	\$ 1.63	\$ 8.13	\$ 12.38	
63		(5/8" Dia) Anchor Bolt	EA	4	0%	4	\$ 29.85	\$ 119.40	0.150	\$ 65.00	\$ 9.75	\$ 39.00	\$ 158.40	
64		Simpson Starp - MST48	EA	4	0%	4	\$ 0.85	\$ 3.40	0.025	\$ 65.00	\$ 1.63	\$ 6.50	\$ 9.90	
65		(1/4") Bent Plate w/ Bolts	EA	3	0%	3	\$ 17.85	\$ 53.55	0.075	\$ 65.00	\$ 4.88	\$ 14.63	\$ 68.18	
Railing														
66		Guard Rail 42"H	LF	125	0%	125	\$ 17.85	\$ 2,231.25	0.075	\$ 65.00	\$ 4.88	\$ 609.38	\$ 2,840.63	
Subtotal (Metals)								\$ 13,382			\$ 4,890		\$ 18,272	

DIVISION 06- WOOD, PLASTIC & COMPOSITES														
Lower Floor														
67		Sill Plate (2x) Sill Plate	LF	25	0%	25	\$ 6.85	\$ 171.25	0.035	\$ 62.00	\$ 2.17	\$ 54.25	\$ 225.50	
68		(3x) Sill Plate	LF	25	0%	25	\$ 6.85	\$ 171.25	0.035	\$ 62.00	\$ 2.17	\$ 54.25	\$ 225.50	
69		Wood Beam (4x12) #1 Secondary Anchor	LF	81	0%	81	\$ 3.25	\$ 263.25	0.028	\$ 62.00	\$ 1.74	\$ 140.62	\$ 403.87	
70		1FB-1 (3.5x11.875) LVL Wood Beam	LF	12	0%	12	\$ 6.25	\$ 75.00	0.024	\$ 62.00	\$ 1.49	\$ 17.86	\$ 92.86	
71		1FB-2 (3.5x11.875) LVL Wood Beam	LF	18	0%	18	\$ 6.25	\$ 112.50	0.024	\$ 62.00	\$ 1.49	\$ 26.78	\$ 139.28	
72		1FB-3 (3.5x11.875) LVL Wood Beam	LF	12	0%	12	\$ 6.25	\$ 75.00	0.024	\$ 62.00	\$ 1.49	\$ 17.86	\$ 92.86	
73		1FB-4 (7x11.875) LVL Wood Beam	LF	25	0%	25	\$ 6.25	\$ 156.25	0.024	\$ 62.00	\$ 1.49	\$ 37.20	\$ 193.45	
74		1FB-5 W(10x26) Wood Beam	LF	58	0%	58	\$ 6.25	\$ 362.50	0.024	\$ 62.00	\$ 1.49	\$ 86.30	\$ 448.80	
75		Wood Blocking (2x) Nailer	LF	110	0%	110	\$ 3.25	\$ 357.50	0.028	\$ 62.00	\$ 1.74	\$ 190.96	\$ 548.46	
76		(4x) Solid Blocking	LF	25	0%	25	\$ 6.85	\$ 171.25	0.035	\$ 62.00	\$ 2.17	\$ 54.25	\$ 225.50	
77		Ledger (3x) Ledger	LF	26	0%	26	\$ 5.25	\$ 136.50	0.028	\$ 62.00	\$ 1.74	\$ 45.14	\$ 181.64	
78		Floor Joist (11-7/8") TJI 360 @ 16" O.C (750 SF)	LF	563	0%	563	\$ 2.56	\$ 1,441.28	0.020	\$ 62.00	\$ 1.24	\$ 698.12	\$ 2,139.40	
79		Floor Sheathing (3/4" Thick) Plywood Sheathing	SF	750	0%	750	\$ 1.08	\$ 810.00	0.020	\$ 62.00	\$ 1.24	\$ 930.00	\$ 1,740.00	
Upper Floor														
80		Wood Post (4x6) Wood Post (11'-6" H) (1 EA)	LF	12	0%	12	\$ 3.98	\$ 47.76	0.025	\$ 62.00	\$ 1.55	\$ 18.60	\$ 66.36	
81		(6x6) Wood Post (11'-6" H) (5 EA)	LF	58	0%	58	\$ 3.98	\$ 230.84	0.025	\$ 62.00	\$ 1.55	\$ 89.90	\$ 320.74	
82		Ledger (3x12) Ledger	LF	95	0%	95	\$ 5.25	\$ 498.75	0.028	\$ 62.00	\$ 1.74	\$ 164.92	\$ 663.67	
83		Wood Blocking (2x) Nailer	LF	50	0%	50	\$ 3.25	\$ 162.50	0.028	\$ 62.00	\$ 1.74	\$ 86.80	\$ 249.30	
84		Solid WEB Blocking w/ (1/2") M.B @ 12" O.C	LF	15	0%	15	\$ 6.85	\$ 102.75	0.035	\$ 62.00	\$ 2.17	\$ 32.55	\$ 135.30	
85		Wood Beam (4x12) #1 Secondary Anchor	LF	75	0%	75	\$ 3.25	\$ 243.75	0.028	\$ 62.00	\$ 1.74	\$ 130.20	\$ 373.95	
86		2FB-1 (3.5x11.875) LVL Wood Beam	LF	13	0%	13	\$ 6.25	\$ 81.25	0.024	\$ 62.00	\$ 1.49	\$ 19.34	\$ 100.59	
87		2FB-2 (3.5x11.875) LVL Wood Beam	LF	6	0%	6	\$ 6.25	\$ 37.50	0.024	\$ 62.00	\$ 1.49	\$ 8.93	\$ 46.43	
88		2FB-3 (3.5x11.875) LVL Wood Beam	LF	13	0%	13	\$ 6.25	\$ 81.25	0.024	\$ 62.00	\$ 1.49	\$ 19.34	\$ 100.59	
89		2FB-4 (5.25x11.875) LVL Wood Beam	LF	17	0%	17	\$ 6.25	\$ 106.25	0.024	\$ 62.00	\$ 1.49	\$ 25.30	\$ 131.55	
90		2FB-5 (5.25x9.25) LVL Wood Beam	LF	8	0%	8	\$ 6.25	\$ 50.00	0.024	\$ 62.00	\$ 1.49	\$ 11.90	\$ 61.90	
91		2FB-7 (5.25x9.25) LVL Wood Beam	LF	30	0%	30	\$ 6.25	\$ 187.50	0.024	\$ 62.00	\$ 1.49	\$ 44.64	\$ 232.14	
92		2FB-8 (3.5x11.875) LVL Wood Beam	LF	20	0%	20	\$ 6.25	\$ 125.00	0.024	\$ 62.00	\$ 1.49	\$ 29.76	\$ 154.76	
93		2FB-11 (6x10) #1 Wood Beam	LF	10	0%	10	\$ 6.25	\$ 62.50	0.024	\$ 62.00	\$ 1.49	\$ 14.88	\$ 77.38	

Project ID:	***** Building Data Summary *****
Location:	Los Angeles, CA 90065
Scope of Work:	Everything
Date:	3/1/2024



Projected Cost		\$	321,222
Insurance	3%	\$	9,637
Contingency	5%	\$	16,061
Overhead and Profit	15%	\$	48,183
Tax	0.00%	\$	-
Suggested Bid		\$	395,103

Item #	Ref. Sheet #	Item Description	Unit	Quantity	Wastage	Quantity w/ Wastage	Unit Material Cost	Total Material Cost	Unit Manhour	Hourly Wage	Unit Labor Cost	Total Labor Cost	Sub Cost	Total Trade Cost
Shearwall														
94		(15/32" Thick) Structural 1 Plywood Sheathing (35 LF) (11'-6" H)	SF	403	0%	403	\$ 1.08	\$ 435.24	0.020	\$ 62.00	\$ 1.24	\$ 499.72	\$	\$ 934.96
Floor Joist														
95		(2x10) DJ's @ 16" O.C (178 SF)	LF	134	0%	134	\$ 2.15	\$ 288.10	0.020	\$ 62.00	\$ 1.24	\$ 166.16	\$	\$ 454.26
96		(2x14) Stringers @ 12" O.C (77 SF)	LF	77	0%	77	\$ 3.15	\$ 242.55	0.020	\$ 62.00	\$ 1.24	\$ 95.48	\$	\$ 338.03
97		(11-7/8") TJI 360 @ 16" O.C Floor Joist (505 SF)	LF	379	0%	379	\$ 2.56	\$ 970.24	0.015	\$ 62.00	\$ 0.93	\$ 352.47	\$	\$ 1,322.71
Floor Sheathing														
98		(1-1/8" Thick) T & G Plywood Sheathing	SF	760	0%	760	\$ 1.08	\$ 820.80	0.020	\$ 62.00	\$ 1.24	\$ 942.40	\$	\$ 1,763.20
Roof														
Wood Post														
99		(6x6) Wood Post (3 EA) (8'-8" H)	LF	26	0%	26	\$ 3.98	\$ 103.48	0.025	\$ 62.00	\$ 1.55	\$ 40.30	\$	\$ 143.78
100		(4x6) Wood Post (4 EA) (8'-8" H)	LF	35	0%	35	\$ 3.98	\$ 139.30	0.025	\$ 62.00	\$ 1.55	\$ 54.25	\$	\$ 193.55
Wood Header														
101		(6x6) Wood Header	LF	16	0%	16	\$ 3.98	\$ 63.68	0.025	\$ 62.00	\$ 1.55	\$ 24.80	\$	\$ 88.48
102		(6x8) Wood Header	LF	20	0%	20	\$ 3.98	\$ 79.60	0.025	\$ 62.00	\$ 1.55	\$ 31.00	\$	\$ 110.60
103		(4x10) #1 Wood Header	LF	19	0%	19	\$ 3.98	\$ 75.62	0.025	\$ 62.00	\$ 1.55	\$ 29.45	\$	\$ 105.07
Shearwall														
104		(15/32" Thick) Structural 1 Plywood Sheathing (35 LF) (10'-6" H)	SF	368	0%	368	\$ 1.08	\$ 397.44	0.020	\$ 62.00	\$ 1.24	\$ 456.32	\$	\$ 853.76
Rim-Board														
105		(1-3/4") Rim Board	LF	111	0%	111	\$ 1.56	\$ 173.16	0.015	\$ 62.00	\$ 0.93	\$ 103.23	\$	\$ 276.39
Roof Joist														
106		(11-7/8") TJI210 @ 16" O.C Roof Joist (753 SF)	LF	567	0%	567	\$ 2.56	\$ 1,451.52	0.015	\$ 62.00	\$ 0.93	\$ 527.31	\$	\$ 1,978.83
Roof Sheathing														
107		(1/2" Thick) Roof Sheathing	SF	755	0%	755	\$ 1.08	\$ 815.40	0.020	\$ 62.00	\$ 1.24	\$ 936.20	\$	\$ 1,751.60
Stairs														
108		Hard Wood Stairs "20 Riser@7.5" 19 Treads@ 11"	Loc	1	0%	1	\$ 450.00	\$ 450.00	0.020	\$ 62.00	\$ 1.24	\$ 1.24	\$	\$ 451.24
109		Hand Rail 36"H	LF	15	0%	15	\$ 65.00	\$ 975.00	0.233	\$ 60.00	\$ 13.98	\$ 209.70	\$	\$ 1,184.70
Cabinets And Shelves														
110		Book Shelve	LF	8	0%	8	\$ 265.66	\$ 2,125.28	0.512	\$ 62.00	\$ 31.74	\$ 253.95	\$	\$ 2,379.23
111		Base Cabinets	LF	13	0%	13	\$ 265.66	\$ 3,453.58	0.512	\$ 62.00	\$ 31.74	\$ 412.67	\$	\$ 3,866.25
112		Upper Cabinets	LF	14	0%	14	\$ 265.66	\$ 3,719.24	0.512	\$ 62.00	\$ 31.74	\$ 444.42	\$	\$ 4,163.66
113		(1'-4"x4'-2") Small Table	EA	1	0%	1	\$ 265.66	\$ 265.66	0.512	\$ 62.00	\$ 31.74	\$ 31.74	\$	\$ 297.40
114		Wall Mounted Cabinets With Doors	EA	2	0%	2	\$ 265.66	\$ 531.32	0.512	\$ 62.00	\$ 31.74	\$ 63.49	\$	\$ 594.81
Subtotal (Wood & Plastic Composites)								\$ 23,897			\$ 8,727		\$	\$ 32,624

DIVISION 07- THERMAL & MOISTURE PROTECTION														
Roofing														
115		Cant Strip	LF	100	0%	100	\$ 2.65	\$ 265.00	0.025	\$ 62.00	\$ 1.55	\$ 155.00	\$	\$ 420.00
116		Parapet Wall Flashing Both Side	LF	200	0%	200	\$ 2.65	\$ 530.00	0.025	\$ 62.00	\$ 1.55	\$ 310.00	\$	\$ 840.00
117		Roof Drains	EA	3	0%	3	\$ 15.65	\$ 46.95	0.025	\$ 62.00	\$ 1.55	\$ 4.65	\$	\$ 51.60
118		R-30 Insulation	SF	630	0%	630	\$ 2.65	\$ 1,669.50	0.025	\$ 62.00	\$ 1.55	\$ 976.50	\$	\$ 2,646.00
Carlisle TPO Roof Membrane														
119		Manuf. CARLISLE TPO Model: LARR#25844 Color: White	SF	631	0%	631	\$ 3.85	\$ 2,429.35	0.032	\$ 62.00	\$ 1.98	\$ 1,251.90	\$	\$ 3,681.25
120		Aluminum or Metal Roof Parapet Caping	LF	104	0%	104	\$ 4.65	\$ 483.60	0.025	\$ 62.00	\$ 1.55	\$ 161.20	\$	\$ 644.80
Exterior Finishes														
121		Metal Lath	SF	620	0%	620	\$ 0.92	\$ 570.40	0.015	\$ 55.00	\$ 0.83	\$ 511.50	\$	\$ 1,081.90
122		Vapor Barrier	SF	620	0%	620	\$ 0.12	\$ 74.40	0.015	\$ 55.00	\$ 0.43	\$ 266.60	\$	\$ 341.00
Subtotal (Thermal & Moisture Protection)								\$ 6,069			\$ 3,637		\$	\$ 9,707

DIVISION 08- OPENINGS														
Doors														
123		(8'-0"x8'-0") Wooden Door	EA	1	0%	1	\$ 1,740.75	\$ 1,740.75	7.210	\$ 60.00	\$ 432.60	\$ 432.60	\$	\$ 2,173.35
124		(2'-8" x8'-0") Wooden Door	EA	5	0%	5	\$ 725.00	\$ 3,625.00	2.250	\$ 60.00	\$ 135.00	\$ 675.00	\$	\$ 4,300.00
125		(2'-8" x3'-4") Wooden Door	EA	1	0%	1	\$ 525.00	\$ 525.00	2.250	\$ 60.00	\$ 135.00	\$ 135.00	\$	\$ 660.00
Hardware														
126		Door Hardware	EA	7	0%	7	\$ 420.00	\$ 2,940.00	1.450	\$ 60.00	\$ 87.00	\$ 609.00	\$	\$ 3,549.00
Windows														
127		(8'-10"x4'-6") Tempered Glass Fixed Window W/ Aluminum Frame	EA	1	0%	1	\$ 2,310.00	\$ 2,310.00	9.120	\$ 60.00	\$ 547.20	\$ 547.20	\$	\$ 2,857.20
128		(7'-6"x7'-6") Tempered Glass Fixed Window W/ Aluminum Frame	EA	2	0%	2	\$ 1,546.00	\$ 3,092.00	12.200	\$ 60.00	\$ 732.00	\$ 1,464.00	\$	\$ 4,556.00
129		(7'-6"x16'-0") Tempered Glass Fixed Window W/ Aluminum Frame	EA	1	0%	1	\$ 1,546.00	\$ 1,546.00	12.200	\$ 60.00	\$ 732.00	\$ 732.00	\$	\$ 2,278.00
130		(7'-2"x9'-0") Tempered Glass Fixed Window W/ Aluminum Frame	EA	1	0%	1	\$ 1,546.00	\$ 1,546.00	12.200	\$ 60.00	\$ 732.00	\$ 732.00	\$	\$ 2,278.00
131		(5'-4"x5'-4") Tempered Glass Fixed & Open Window W/ Aluminum Frame	EA	1	0%	1	\$ 896.00	\$ 896.00	2.350	\$ 60.00	\$ 141.00	\$ 141.00	\$	\$ 1,037.00
132		(8'-6" x8'-0") Tempered Glass Fixed & Open Window W/ Aluminum Frame	EA	1	0%	1	\$ 896.00	\$ 896.00	2.350	\$ 60.00	\$ 141.00	\$ 141.00	\$	\$ 1,037.00
133		(16'-4"x7'-6") Tempered Glass Fixed & Open Window W/ Aluminum Frame	EA	1	0%	1	\$ 1,296.00	\$ 1,296.00	2.350	\$ 60.00	\$ 141.00	\$ 141.00	\$	\$ 1,437.00
134		(10'-4"x8'-0") Tempered Glass Fixed & Open Window W/ Aluminum Frame	EA	1	0%	1	\$ 1,780.00	\$ 1,780.00	2.350	\$ 60.00	\$ 141.00	\$ 141.00	\$	\$ 1,921.00
Subtotal (Openings)								\$ 22,193			\$ 5,891		\$	\$ 28,084

Project ID:	*****
Location:	Los Angeles, CA 90065
Scope of Work:	Everything
Date:	3/1/2024



Projected Cost	\$	321,222
Insurance	3%	\$ 9,637
Contingency	5%	\$ 16,061
Overhead and Profit	15%	\$ 48,183
Tax	0.00%	\$ -
Suggested Bid	\$	395,103

Item #	Ref. Sheet #	Item Description	Unit	Quantity	Wastage	Quantity w/ Wastage	Unit Material Cost	Total Material Cost	Unit Manhour	Hourly Wage	Unit Labor Cost	Total Labor Cost	Sub Cost	Total Trade Cost
DIVISION 10- SPECIALTIES														
209		Kitchen Sink	EA	1	0%	1	\$ 551.00	\$ 551.00	2.980	\$ 85.00	\$ 253.30	\$ 253.30	\$ 804.30	
210		Kitchen Faucet	EA	1	0%	1	\$ 151.00	\$ 151.00	2.980	\$ 85.00	\$ 253.30	\$ 253.30	\$ 404.30	
211		24" Dish Washer	EA	1	0%	1	\$ 1,258.00	\$ 1,258.00	2.350	\$ 85.00	\$ 199.75	\$ 199.75	\$ 1,457.75	
212		(30"x24") Refrigerator	EA	1	0%	1	\$ 1,400.00	\$ 1,400.00	1.500	\$ 85.00	\$ 127.50	\$ 127.50	\$ 1,527.50	
Bathroom Accessories														
213		Vanity Countertop	SF	6	0%	6	\$ 85.00	\$ 510.00	0.233	\$ 60.00	\$ 13.98	\$ 83.88	\$ 593.88	
214		Vanity	EA	1	0%	1	\$ 368.32	\$ 368.32	0.525	\$ 60.00	\$ 31.50	\$ 31.50	\$ 399.82	
215		Mirror	EA	1	0%	1	\$ 148.66	\$ 148.66	0.720	\$ 60.00	\$ 43.20	\$ 43.20	\$ 191.86	
216		Coat Hook	EA	1	0%	1	\$ 35.65	\$ 35.65	0.230	\$ 60.00	\$ 13.80	\$ 13.80	\$ 49.45	
217		Soap Dispenser	EA	1	0%	1	\$ 41.65	\$ 41.65	0.300	\$ 60.00	\$ 18.00	\$ 18.00	\$ 59.65	
218		Tissue Holder	EA	1	0%	1	\$ 48.98	\$ 48.98	0.320	\$ 60.00	\$ 19.20	\$ 19.20	\$ 68.18	
219		(36" H) Grab Bar	EA	1	0%	1	\$ 38.95	\$ 38.95	0.398	\$ 60.00	\$ 23.88	\$ 23.88	\$ 62.83	
220		(42" H) Grab Bar	EA	1	0%	1	\$ 45.00	\$ 45.00	0.420	\$ 60.00	\$ 25.20	\$ 25.20	\$ 70.20	
221		(18" H) Grab Bar	EA	1	0%	1	\$ 29.65	\$ 29.65	0.320	\$ 60.00	\$ 19.20	\$ 19.20	\$ 48.85	
Subtotal (Specialties)								\$ 4,627			\$ 1,112		\$ 5,739	
DIVISION 11- EQUIPMENT														
222		(5'-0"x5'-6") 2 Cushion Bed	EA	1	0%	1	\$ 1,022.00	\$ 1,022.00	1.500	\$ 85.00	\$ 127.50	\$ 127.50	\$ 1,149.50	
223		(2'-6"x1'-9") Cooking Stove	EA	1	0%	1	\$ 1,488.00	\$ 1,488.00	1.980	\$ 85.00	\$ 168.30	\$ 168.30	\$ 1,656.30	
224		(3'-0"x4'-9") Dining Table With 4 Chairs	EA	1	0%	1	\$ 680.00	\$ 680.00	1.980	\$ 85.00	\$ 168.30	\$ 168.30	\$ 848.30	
Subtotal (Equipment)								\$ 3,190			\$ 464		\$ 3,654	
DIVISION 22- PLUMBING														
Plumbing Fixtures														
225		Bath Tub	EA	1	0%	1	\$ 852.00	\$ 852.00	5.000	\$ 85.00	\$ 425.00	\$ 425.00	\$ 1,277.00	
226		Lavatory	EA	1	0%	1	\$ 551.00	\$ 551.00	2.980	\$ 85.00	\$ 253.30	\$ 253.30	\$ 804.30	
227		Water Closet	EA	1	0%	1	\$ 636.00	\$ 636.00	3.250	\$ 85.00	\$ 276.25	\$ 276.25	\$ 912.25	
Subtotal (Plumbing)								\$ 2,039			\$ 955		\$ 2,994	
DIVISION 25- HVAC/MECHANICAL														
HVAC Fixtures														
228		Sump Pump	EA	1	0%	1	\$ 3,555.00	\$ 3,555.00	0.850	\$ 92.00	\$ 78.20	\$ 78.20	\$ 3,633.20	
229		Rain Tanks	EA	3	0%	3	\$ 2,550.00	\$ 7,650.00	0.850	\$ 92.00	\$ 78.20	\$ 234.60	\$ 7,884.60	
Subtotal (HVAC/Mechanical)								\$ 11,205			\$ 313		\$ 11,518	
DIVISION 26- ELECTRICAL														
Power Fixtures														
230		Dust Detector	EA	1	0%	1	\$ 75.00	\$ 75.00	0.685	\$ 92.00	\$ 63.02	\$ 63.02	\$ 138.02	
231		Heat Detector	EA	1	0%	1	\$ 75.00	\$ 75.00	0.685	\$ 92.00	\$ 63.02	\$ 63.02	\$ 138.02	
232		Humidity Control Fan	EA	1	0%	1	\$ 185.00	\$ 185.00	0.685	\$ 92.00	\$ 63.02	\$ 63.02	\$ 248.02	
233		"EVSE" Electric Vehical Charging	EA	1	0%	1	\$ 2,550.00	\$ 2,550.00	0.685	\$ 92.00	\$ 63.02	\$ 63.02	\$ 2,613.02	
234		Smoke Detector And Carbon Monoxide	EA	2	0%	2	\$ 75.00	\$ 150.00	0.685	\$ 92.00	\$ 63.02	\$ 126.04	\$ 276.04	
Subtotal (Electrical)								\$ 3,035			\$ 378		\$ 3,413	

												PROJECTED COST	\$	321,222	
												INSURANCE	3%	\$	9,637
												CONTINGENCY	5%	\$	16,061
												OVERHEAD AND PROFIT	15%	\$	48,183
												TAX	0.00%	\$	-
												SUGGESTED BID	\$	395,103	

Note:
1. Please verify the equipment's and their prices with owner.
2. Online sources are used for pricing.
3. Prices can vary depending upon field conditions.



LEGAL DESCRIPTION
 APN: 5471-023-003
 Tract: 4421
 Lot: 3
 Block: none

PROPERTY ADDRESS
 632 Cross Ave
 Los Angeles, CA 90065

AREA CALCULATIONS

Gross Floor Area: 1,226 sq.ft.
 Landscape Area: 3,198 sq.ft.
 Lot Coverage: 18%
 Lot Area: 4,190 sq.ft.
 Lot Coverage per 12.21.C.10 (e):

Area of buildings or structures >6'-0" above grade = 970 sq.ft
 Lot Coverage: 23.15% (not to exceed 45% per 12.21.C.10 (e))
 Mt. Washington FAR = .5 x Lot Area
 = 2,095 sq.ft.

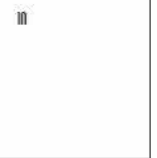
revisions
 Plan Check sub 05/17/19
 PC No. 1 xx/xx/19

project owner

permit numbers

19010-10000-02070
 19030-10000-03108
 19020-10000-01364
 building permit: 19010-10000-02070
 grading permit: 19030-10000-03108
 retaining wall permit: 19020-10000-01364
 plan check numbers: B19LA10244

project title and address



project No.

CRS

architect

ANONYMOUS ARCHITECTS
 800 South Broadway, Suite 117
 Los Angeles, CA 90014
 Tel: 323-515-7930
 office@anonymousarchitects.com

stamp

drawing

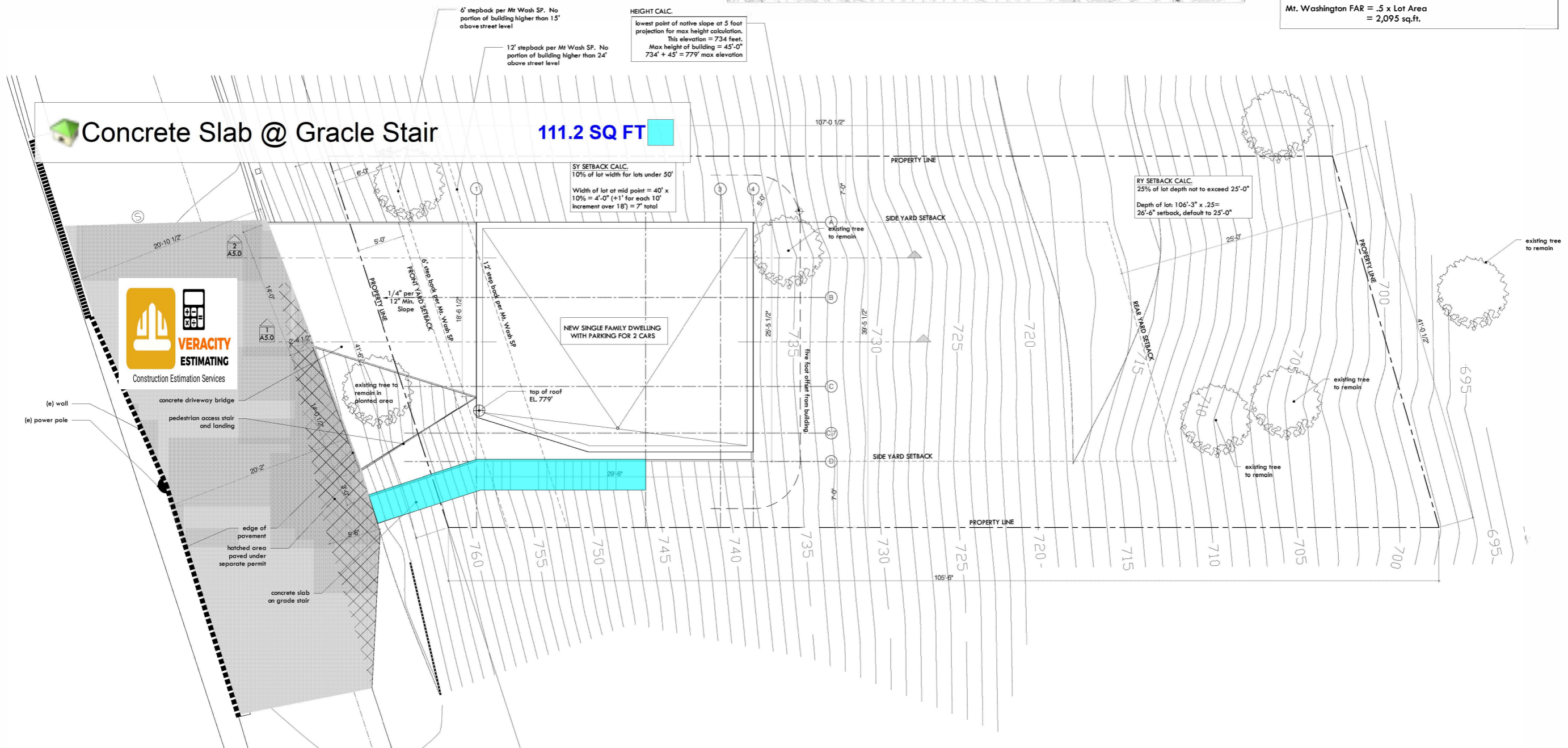
Site Plan

A 1.0

scale
 version
 drawn by

7/7/2020 9:43 AM

1
 PLOT DATE & TIME



Concrete Slab @ Grace Stair

111.2 SQ FT

SY SETBACK CALC.
 10% of lot width for lots under 50'
 Width of lot at mid point = 40' x
 10% = 4'-0" (+1" for each 10'
 increment over 18') = 7" total

RY SETBACK CALC.
 25% of lot depth not to exceed 25'-0"
 Depth of lot: 106'-3" x .25 =
 26'-6" setback, default to 25'-0"

HEIGHT CALC.
 lowest point of native slope at 5 foot
 projection for max height calculation.
 This elevation = 734 feet.
 Max height of building = 45'-0"
 734' + 45' = 779' max elevation

6' stepback per Mt Wash SP. No
 portion of building higher than 15'
 above street level

12' stepback per Mt Wash SP. No
 portion of building higher than 24'
 above street level



(e) wall
 (e) power pole

concrete driveway bridge
 pedestrian access stair
 and landing

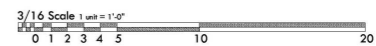
edge of pavement
 hatched area
 paved under
 separate permit

concrete slab
 on grade stair

NEW SINGLE FAMILY DWELLING
 WITH PARKING FOR 2 CARS

top of roof
 EL. 779'

Five feet offset from building



- A
- B
- C
- E
- D
- F
- Manual Shut-Off Valve
- Water Meter
- Irrigation Controller
- Concrete Driveway (372 SF)
- Landscape Area (3198 SF)
- (3/4" Dia) Supply Pipe (Supply House) 239.3 FT
- (90 D) Bend 6.0
- (1/4" Dia) Supply Pipe (Supply Hose) 127.5 FT
- (1/2" Dia) Supply Pipe (Supply Hose) 90.7 FT
- Tee 25.0
- (1/2" Dia) gpa Drip 30.0
- (45 D) Bend 5.0
- (1" Dia) gpa Drip 12.0

- 4.0
- 4.0
- 9.0
- 3.0
- 3.0
- 4.0
- 1.0
- 1.0
- 1.0
- 1.0
- 1.0
- 239.3 FT
- 6.0
- 127.5 FT
- 90.7 FT
- 25.0
- 30.0
- 5.0
- 12.0

Estimated Total Water Use

Equation: $ETWU = ET_c \times 0.62 \times [(PF \times HA) + SLA]$; Considering precipitation $ETWA = (ET_c - E_{pp}) \times 0.62 \times [(PF \times HA) + SLA]$

Enter values in Pale Blue Cells

Tab Cells Show Results

Message and Warnings

Irrigation Efficiency Default Value for overhead 0.75 and drip 0.81

Plant Water Use Type	Plant Factor
Very Low	0.1-0.1
Low	0.2-0.3
Medium	0.4-0.6
High	0.7-1.0
SLA	1

Select System From the Dropdown List (Click on cell below)	Plant Water Use Type (S) (Low, medium, High)	Plant Factor (PF)	Hydrozone Area (HA) (sq ft) Without SLA	Irrigation Efficiency (IE)	PF x HA (I ² WUE)
Zone 1	Low	0.30	3198	0.81	796
Zone 2					
Zone 3					
Zone 4					
Zone 5					
Zone 6					
Zone 7					
Zone 8					
Zone 9					
Zone 10					
Zone 11					
Zone 12					
Zone 13					
Zone 14					
Zone 15					
Zone 16					
Zone 17					
Zone 18					
Zone 19					
Zone 20					
Zone 21					
Zone 22					
Zone 23					
Zone 24					
Zone 25					
Zone 26					
Zone 27					
Zone 28					
Zone 29					
Zone 30					
Zone 31					
Zone 32					
Zone 33					
Zone 34					
Zone 35					
Zone 36					
Zone 37					
Zone 38					
Zone 39					
Zone 40					
SLA					
Sum			3198		796

Results

MAWA = 50.968

ETWU = 22,702 Gallons

ETWA = 3,039 Cubic Feet

30,947 G/Ac-Foot

9 Millions of Gallons

ETWU complies with MAWA

IRRIGATION LEGEND

Symbol	Type	Spec	Make/model # (if applicable)
—	supply hose	3/4" Ø	
—	supply hose	1/2" Ø	
—	supply hose	1/4" Ø	
•	drip	2 gpa	Rain Bird SW20
•	drip	1 gpa	Rain Bird SW10
•	drip	1/2 gpa	Rain Bird SW05
•	full circle micro bubbler	varies	Rain Bird MBF4PK

PLANTING LEGEND (NEW) 100% CA native

Symbol	Common name	Scientific name	Quantity	Diameter (By Drip Line)	Water Use Type (WUCOLS)	HYDROZONE
(A)	California Coffeeberry	Rhamnus Californica	4	7"	Very Low	LOW WATER NEW
(B)	Rosa Californica	Wild Rose	4	4'	Low	LOW WATER NEW
(C)	Lupinus Latifolius	Sky Lupine	9	4'	Low	LOW WATER NEW
(D)	Flowering Ash	Fraxinus Dipetala	3	12"	Very Low	LOW WATER NEW
(E)	Matilija Poppy	Romneya	3	6'	Low	LOW WATER NEW
(F)	St. Catherine's Lace	erigonum giganteum	4	6'	Low	LOW WATER NEW

PLANTING LEGEND (EXISTING)

Symbol	Common name	Scientific name	Quantity	Diameter (By Drip Line)	Water Use Type (WUCOLS)	HYDROZONE
(632)	Mexican Elderberry	Sambucus Mexicana	1	25	Low	LOW WATER (E)
(627)	SoCal Black Walnut	Juglans Californica	1	30	Low	LOW WATER (E)
(628)	SoCal Black Walnut	Juglans Californica	1	27	Low	LOW WATER (E)
(629)	SoCal Black Walnut	Juglans Californica	1	10	Low	LOW WATER (E)
(630)	SoCal Black Walnut	Juglans Californica	1	30	Low	LOW WATER (E)

GREEN BUILDING SQ. FT. BREAKDOWN

Category	sq. ft.
Concrete (driveway)	372 sf
Decks/Patios	0 sf
Plants (new)	27
Plants (existing)	5 trees
Non landscaped area (gravel)	0 sf
Total Landscape area	3,198 sq. ft.

NOTE: all trees to be a 24" box and 6' high at time of planting

HARDSCAPING CALCULATIONS

1. 100% hardscape materials to be uncolored concrete with smooth cement finish and a minimum typical solar reflectance value of 0.30

TOTAL HARDSCAPE AREA = 250 sq.ft.

4 PLANTS & IRRIGATION 3

- LANDSCAPE PLANTING NOTES
- Refer to grading and landscape plans for utility location, drainage, and grading information. If actual site conditions vary from what is shown on the plans or if there are discrepancies between the plans, contact the Landscape Architect for direction as to how to proceed.
 - Verify locations of pertinent site improvements installed under other sections. If any part of this plan cannot be followed due to site conditions, contact Landscape Architect for instructions prior to commencing work.
 - Exact locations of plant materials to be approved by the Landscape Architect in the field prior to installation. Landscape Architect reserves the right to adjust plants to exact location in field.
 - Verify plant counts and square footages. Quantities are provided as Owner information only. If quantities on plan list differ from graphic indications, then graphics shall prevail.
 - Contact the local underground utility services for utility location and identification.
 - Perform excavation in the vicinity of underground utilities with care and if necessary, by hand. The Contractor bears full responsibility for this work and disruption or damage to utilities shall be repaired immediately at no expense to the Owner.
 - Trees shall bear same relation to finished grade as it bore to existing.
 - Trees to be planted a minimum of 4 feet from face of building, or pavement, except as approved by Landscape Architect.
 - Provide matching forms and sizes for plant materials within each species and size designated on the drawings.
 - Prune newly planted trees only as directed by Landscape Architect.
 - Align and equally space in all directions trees and shrubs to designated per these notes and drawings.
 - Finish grades of planter areas shall be 2 inches below adjacent paving or top of wall unless otherwise noted.
 - Provide specified edging as divider between planting beds.
 - Remove entire wire cage from rootball.
 - Cut and remove burlap from top 1/3 of ball.
 - A diagram of the irrigation plan showing hydrozones shall be kept with the irrigation controller for subsequent management purposes.
 - An irrigation audit report shall be completed at the time of final inspection.
 - A certificate of Completion shall be filled out and certified by either the signer of the landscape plans, the signer of the irrigation plans, or the licensed landscape contractor for the project.
 - For soils less than 6% organic matter in the top 6 inches of soil, compost at a rate of a minimum of four cubic yards per 1,000sf of permeable area shall be incorporated to a depth of six inches into the soil.
 - Recirculating water systems shall be used for water features.
 - A minimum 3-inch layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf areas, creeping or rooting ground covers, or direct seeding applications where mulch is contraindicated.
 - Check Valves or anti-drain valves are required on all sprinkler heads where low point drainage could occur.
 - Pressure regulating devices are required if water pressure is below or exceeds the recommended pressure of the specified irrigation devices.
 - At the time of final inspection, the permit applicant must provide the owner of the property with a certificate of completion, certificate of installation, irrigation schedule of landscape and irrigation maintenance.
 - For projects that include landscape work, the Landscape Certification, Form GRN 12 shall be completed prior to final inspection approval.
 - Turf is not allowed on slopes greater than 25% where the toe of the slope is adjacent to an impermeable hardscape.

revisions

Plan Check sub 05/17/19

PC No. 1 xx/xx/19

project owner

permit numbers

building permit: 19010-10000-02070

grading permit: 19020-10000-03108

retaining wall permit: 19020-10000-01364

plan check numbers: B191A 0244

project title and address

project No.

CRS

architect

ANONYMOUS ARCHITECT'S

4800 S. Sepulveda Blvd., Suite 117

Chico, CA 91704

Tel: 323-515-7930

office@anonymousarchitects.com

I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design areas.

I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package.

July 24, 2019

- NOTES FOR GREEN BUILDING
- Materials delivered to construction site shall be protected from rain or other sources of moisture.
 - Construction waste shall be reduced by 50% and removed by City of Los Angeles certified hauler.
 - An operation and Maintenance Manual including, at a minimum, the items listed in Section 4.410.1, shall be completed and placed in the building at the time of final inspection.
 - All duct and other related air distribution component openings shall be covered with tape, plastic, or sheet metal until the final startup of the heating, cooling and ventilation equipment.
 - Architectural paints and coatings, adhesives, caulks and sealants shall comply with the Volatile Organic Compound (VOC) limits listed in Tables 4.504.1-4.504.3
 - GRN 2 shall be completed and certified prior to final inspection approval.
 - 80% of the total area receiving resilient flooring shall comply with the VOC emission limits defined in the CHPS High Performance Products Database.
 - New hardwood plywood, particle board, and medium density fiberboard composite wood products used in the interior or exterior of the building shall meet the formaldehyde limits listed in Table 4.504.5
 - Form GRN 3, shall be completed prior to final inspection approval.
 - Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed until it is inspected and found to be satisfactory by the building inspector.
 - Heating and air-conditioning systems shall be sized and designed using ANSI/ACCA Manual J-2004, ANSI/ACCA 29-D-2009 or ASHRAE handbooks and have their equipment selected in accordance with ANSI/ACCA 36-S Manual S-2004.
 - A 4-inch base of 1/2 inch or larger clean aggregate shall be provided for the proposed slab on grade construction.
 - A vapor barrier shall be provided in direct contact with concrete for the proposed slab on grade construction.
 - Locks shall be installed on all publicly accessible faucets and hose bibs.
 - Any permanently installed outdoor in-ground swimming pool or spa shall be equipped with a cover having a manual or power-operated reel system. For irregular shaped pools where it is infeasible to cover 100 percent of the pool due to its irregular shape a minimum of 80 percent of the pool shall be covered.
 - Where groundwater is being extracted and discharged, a system for onsite reuse of the groundwater shall be developed and constructed if the groundwater will not be discharged to the sewer.
 - The hot water system shall not allow more than 6 gallons of water to be delivered to any fixture before hot water arrives or shall comply with either Los Angeles Plumbing Code Section 610.4.1.2 or 610.4.1.3.

stamp

drawing

Landscape Plan

A 1.1

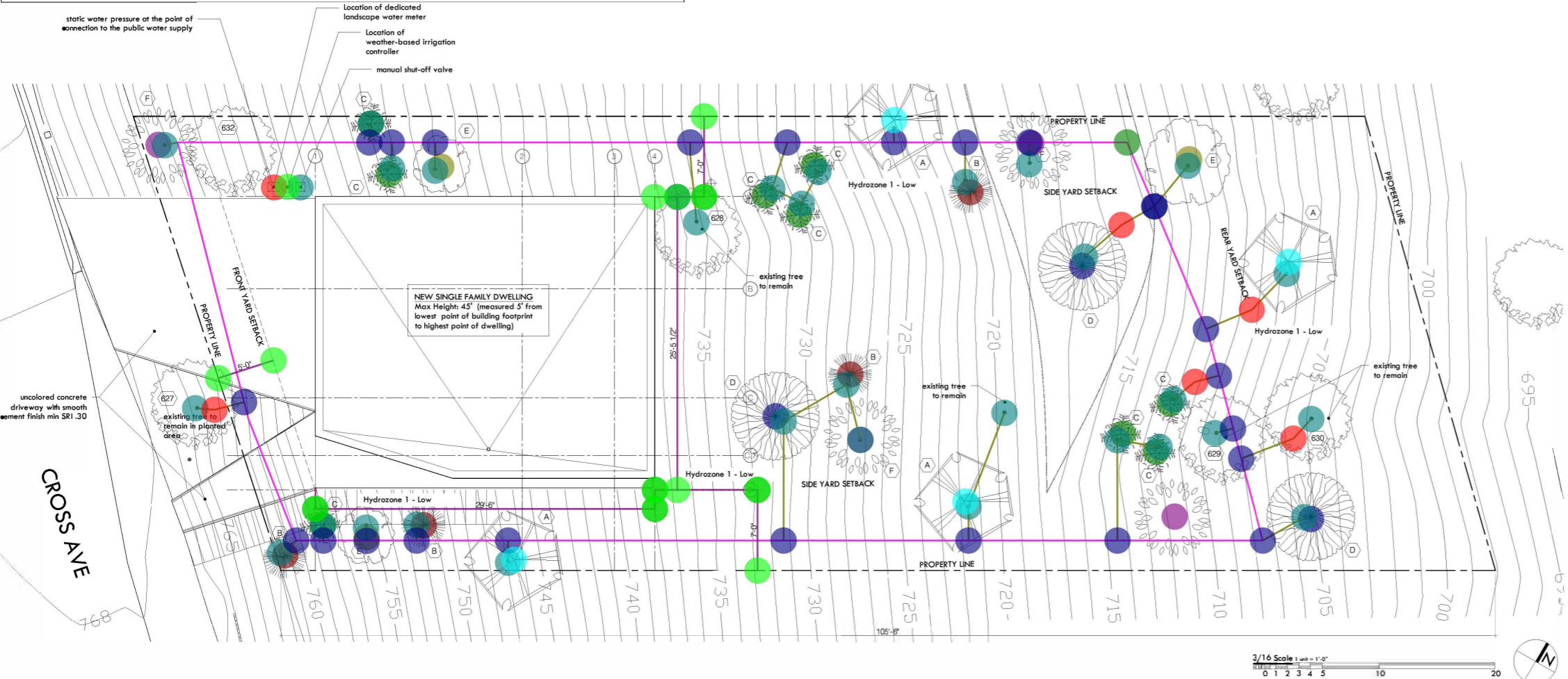
scale

version

drawn by

7/7/2020 9:44 AM

PRINT DATE & TIME



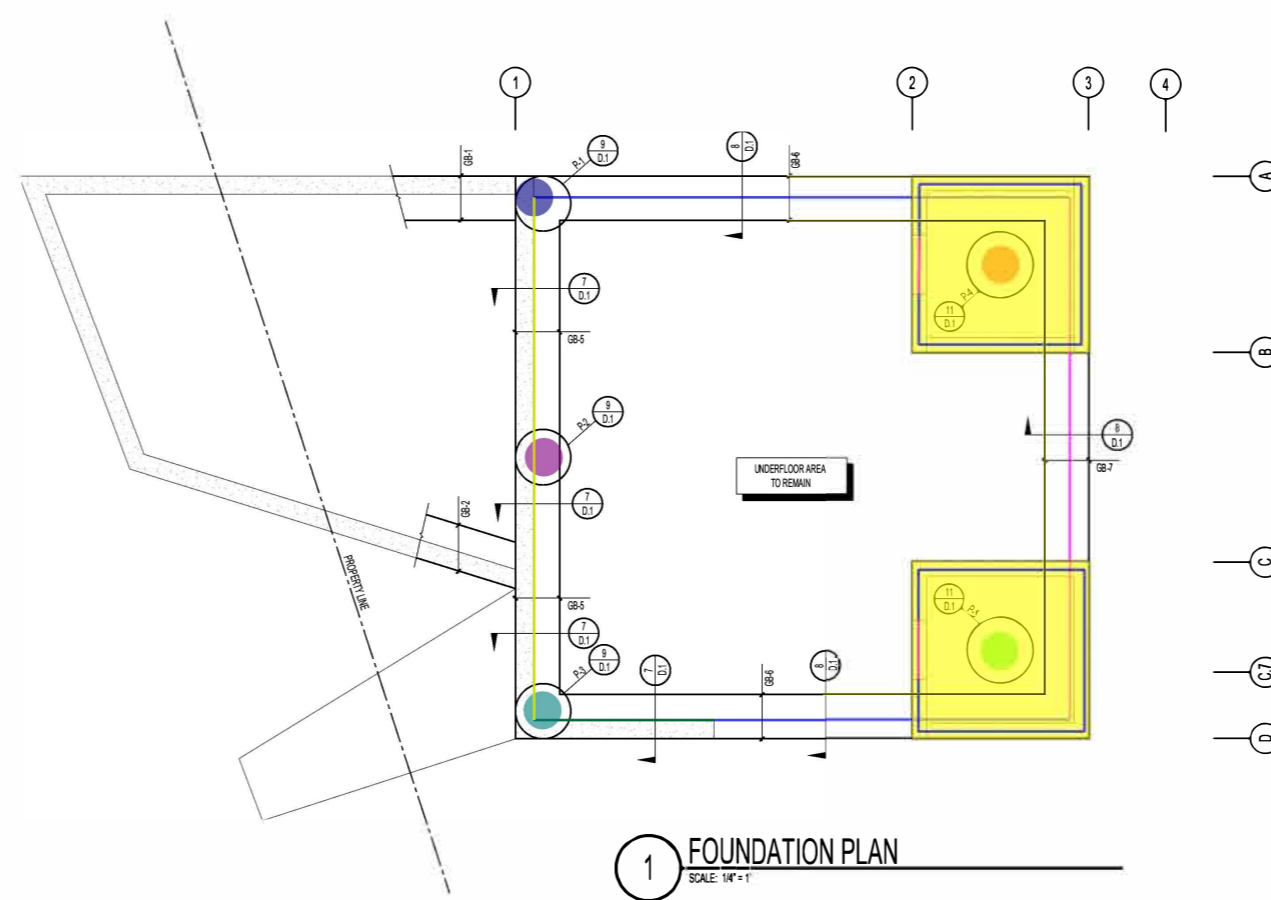
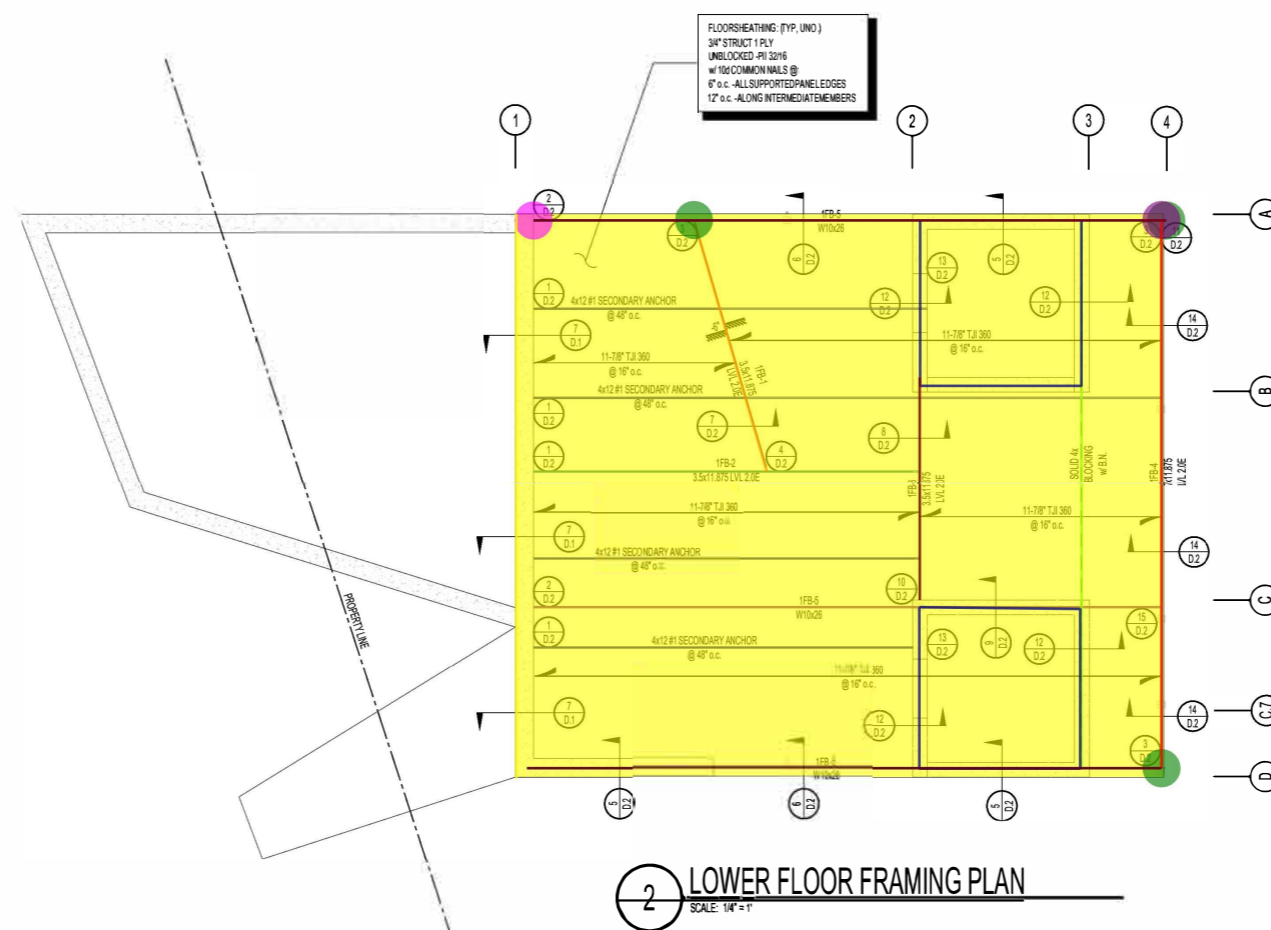
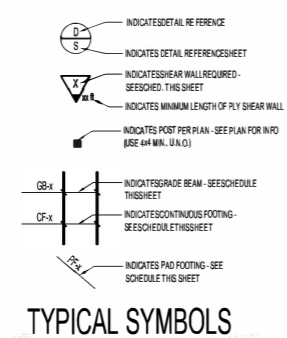
MARK	MATERIAL THICKNESS	NAILING AT ALL PANEL EDGES (1) & (2)	SILL PLATE & FRAMING @ ADJOINING PANEL (3) & (4)	ANCHOR BOLT SPACING (5) & (6)	SILL ANCHOR OPTIONS / SPACING (USE ONE) (7) & (8)	A36 CLIP LAGS (9)	A36 CLIP PLATE TO TOP PLATE TO FRAMING (10)	LTP CLIP CLIPSPACING TOP PLATE TO FRAMING (11)	SEISMIC SHEARWALL CAPACITY (12)	WIND SHEARWALL CAPACITY	
SINGLE SIDED SHEARWALLS											
1	15G2 STRUCTURAL 1 PLYWOOD	84 @ 6" o.c.	2x MIN.	58" O @ 48" o.c.	184 @ 6" o.c.	38" O @ 18" o.c.	18" o.c.	18" o.c.	18" o.c.	280 pf	280 pf
2	15G2 STRUCTURAL 1 PLYWOOD	104 @ 6" o.c.	2x MIN.	58" O @ 48" o.c.	184 @ 6" o.c.	38" O @ 14" o.c.	12" o.c.	12" o.c.	18" o.c.	340 pf	340 pf
3	15G2 STRUCTURAL 1 PLYWOOD	104 @ 6" o.c.	3x MIN.	58" O @ 32" o.c.	184 @ 6" o.c.	38" O @ 14" o.c.	12" o.c.	12" o.c.	12" o.c.	510 pf	510 pf
4	15G2 STRUCTURAL 1 PLYWOOD	104 @ 6" o.c.	3x MIN.	58" O @ 24" o.c.	384 @ 1.5" o.c. STAGGERED	38" O @ 7" o.c.	8" o.c.	8" o.c.	8" o.c.	665 pf	665 pf
5	15G2 STRUCTURAL 1 PLYWOOD (16)	104 @ 6" o.c.	3x MIN.	58" O @ 16" o.c.	USE LAGS	38" O @ 5" o.c.	4.5" o.c.	8" o.c.	8" o.c.	870 pf	870 pf
DOUBLE SIDED SHEARWALLS											
15	15G2 STRUCTURAL 1 PLYWOOD	104 @ 6" o.c.	3x MIN.	58" O @ 12" o.c.	USE LAGS	38" O @ 3" o.c.	3" o.c.	4" o.c.	4" o.c.	1330 pf	1330 pf

- SHEARWALL FOOTNOTES:**
- 1) ALL PLYWOOD PANEL EDGE NAILING IS TO BE COMMON WALLS WITH 10d HAVING 1-1/2" MINIMUM PENETRATION AND 6d HAVING 1-3/8" MIN PENETRATION INTO FRAMING.
 - 2) ALL WALLS ARE TO HAVE 1/2" MINIMUM EDGE DISTANCE FROM PANEL ENDS AND EDGES. DO NOT BREAK SURFACE LAM OF PLY WITH NAIL HEAD.

GB-5	23.6 FT
GB-6	48.6 FT
GB-7	23.6 FT
(10" Thick) Concrete Wall w/ #4 @ 16" O.C H...	31.8 FT
P-1	1.0
P-2	1.0
P-3	1.0
P-4	1.0
P-5	1.0
(24" Thick) Elevator Pit	130.8 SQ FT
(8" Thick) Concrete Wall (16'-8" H)	53.6 FT
(8" Thick) Concrete Wall (9'-4" H)	5.3 FT
1FB-5	57.4 FT
1FB-4	24.8 FT
(4x12) #1 Secondary Anchor @ 48" O.C	80.9 FT
1FB-5	28.5 FT
1FB-2	17.5 FT
1FB-1	11.8 FT
(4x) Solid Blocking	24.8 FT
(11-7/8") TJ360 @ 16" O.C	748.4 SQ FT
(11"x11"x5/8" Thick) A36 Plate	1.0
Simpson "HW" Beam Hanger Skewed	3.0
(2x) Nailor	108.7 FT
(1/2" Thick) Stiffner Plate	1.0
(2x) Sill Plate	24.8 FT
(3x) Ledger	25.5 FT
1FB-3	10.1 FT

FOR TYPICAL ANCHOR BOLT & WASHER INFORMATION, REFER TO D1.

- HILLSIDE CONSTRUCTION NOTES - SECTION 1613 LABC**
1. NUTS OF THE PRIMARY AND SECONDARY ANCHOR FASTENERS SHALL BE FINGER TIGHT WITH 1/2 WRENCH TURN PRIOR TO INSPECTION AND COVERING.
 2. POWER-DRIVEN FASTENERS SHALL NOT BE USED TO ANCHOR SILL PLATES EXCEPT AT INTERIOR NONBEARING WALLS NOT DESIGNED AS SHEAR WALLS.
 3. EXTERIOR ANCHOR BOLTS AND POST BASES SHALL BE GALVANIZED AND EACH ANCHOR BOLT SHALL HAVE AT LEAST TWO GALVANIZED NUTS ABOVE THE POST BASE.
 4. THE TOP OF EXTERIOR PEDESTALS MUST BE SLOPED FOR POSITIVE DRAINAGE.
 5. ALL MAIN FOOTING AND GRADE BEAM REINFORCEMENT STEEL SHALL BE BENT INTO THE INTERSECTING FOOTING AND FULLY DEVELOPED AROUND EACH CORNER AND INTERSECTION.
 6. CONTINUOUS INSPECTION BY A LA CITY LICENSED DEPUTY INSPECTOR IS REQUIRED FOR ALL STRUCTURAL CONNECTIONS, FOOTINGS, GRADE BEAMS AND RETAINING WALLS DURING INSTALLATION.
 7. STRUCTURAL OBSERVATION BY THE ENGINEER OF RECORD IS REQUIRED IN ACCORDANCE WITH LA INFO BULLETIN PIBC 2008-024.



All ideas, designs, arrangements and plans indicated or represented by this drawing are owned by and property of CPE+D and were created, evolved and developed for use on and in connection with the specified project. None of such ideas, designs, arrangements, or plans shall be used by or disclosed to any person, firm or corporation for any purpose whatsoever without the written permission of CPE+D. Written dimensions shall take precedence over scaled dimensions. Contractor shall verify and be responsible for all dimensions and conditions on the job, and this office must be notified of any variations from the dimensions and conditions shown by these drawings.



Date	Issue
3/11/19	PC Submittal
10/17/19	Issued for Permit

Lower Floor Framing and Foundation Plans



CRAIG PHILLIPS
ENGINEERING & DESIGN
2123 VESTAL AVE LOS ANGELES, CA 90026
T 310 625 2325 F 866 828 9608

- (11-7/8") TJI210 @ 16" O.C Roof Joist 752.3 SQ FT
- (1/2" Thick) Roof Sheathing 752.3 SQ FT
- (6x8) Header 19.7 FT
- (6x6) Header 15.7 FT
- (4x10) #1 Header 18.3 FT
- Simpson CC Cap 2.0
- (1/4") Bent Plate w/ Bolts 1.0
- (1-3/4") Rim Board 110.0 FT
- Simpson Starp - MST48 4.0
- HDU5 2.0
- HDU2 2.0
- Shearwall (10'-6" H) 33.8 FT
- (6x6) Wood Post (8'-8" H) 3.0
- (4x6) Wood Post (8'-8" H) 4.0
- HSS(4x4x1/2") Steel Column (8'-8" H) 3.0
- (10" Thick) Slab w/ #5 Bars @ 6" O.C Top & Bot... 327.1 SQ FT
- GB-1 12.4 FT
- GB-2 7.9 FT
- GB-3 15.3 FT
- 1/D.4 41.1 FT
- P-6 (9/D.1) 1.0
- P-7 1.0
- 3/D.4 25.5 FT
- 2FB-10 28.8 FT
- 2FB-11 8.7 FT
- 2FB-7 28.4 FT
- 2FB-1 12.1 FT
- 2FB-4 16.9 FT
- 2FB-2 5.0 FT
- 2FB-9 17.5 FT
- (4x12) #1 Secondary Anchor @ 48" O.C 74.5 FT
- 2FB-3 12.5 FT
- 2FB-8 19.8 FT
- (2x10) DJ's @ 16" O.C 177.2 SQ FT
- (2x14) Stringers @ 12" O.C 76.7 SQ FT
- (11-7/8") TJI 360 @ 16" O.C Floor Joist 504.3 SQ FT
- Solid WEB BLocking w/ (1/2") M.B @ 12" O.C 14.8 FT
- (2x) Nailer 46.3 FT
- (4x6) Wood Post (11'-6" H) 1.0
- (6x6) Wood Post (11'-6" H) 5.0
- HSS(4x4x1/2") Steel Column (11'-6" H) 5.0
- (3/4" Thick) Bearing Plate w/ (5/8" Dia) Anchor Bolt 1.0
- Shearwall (11'-6" H) 34.5 FT
- (3x12) Ledger w/ (5/8" Dia - 7" Embed) Anchor Bolt ... 34.4 FT
- (1/2" Thick) A36 Base Plate 4.0
- (3x) Ledger 29.0 FT
- P-8 1.0
- 16/D.2 5.0 FT
- Linear 14.5 FT
- 2FB-5 7.9 FT

CONTINUED

ON 1613 LABC
CONDY ANCHOR FASTENERS SHALL BE
H TURN PRIOR TO INSPECTION AND

HALL NOT BE USED TO ANCHOR SILL PLATES
RING WALLS NOT DESIGNED AS SHEAR WALLS
) POST BASES SHALL BE GALVANIZED AND
VE AT LEAST TWO GALVANIZED NUTS ABOVE

ALS MUST BE SLOPED FOR POSITIVE

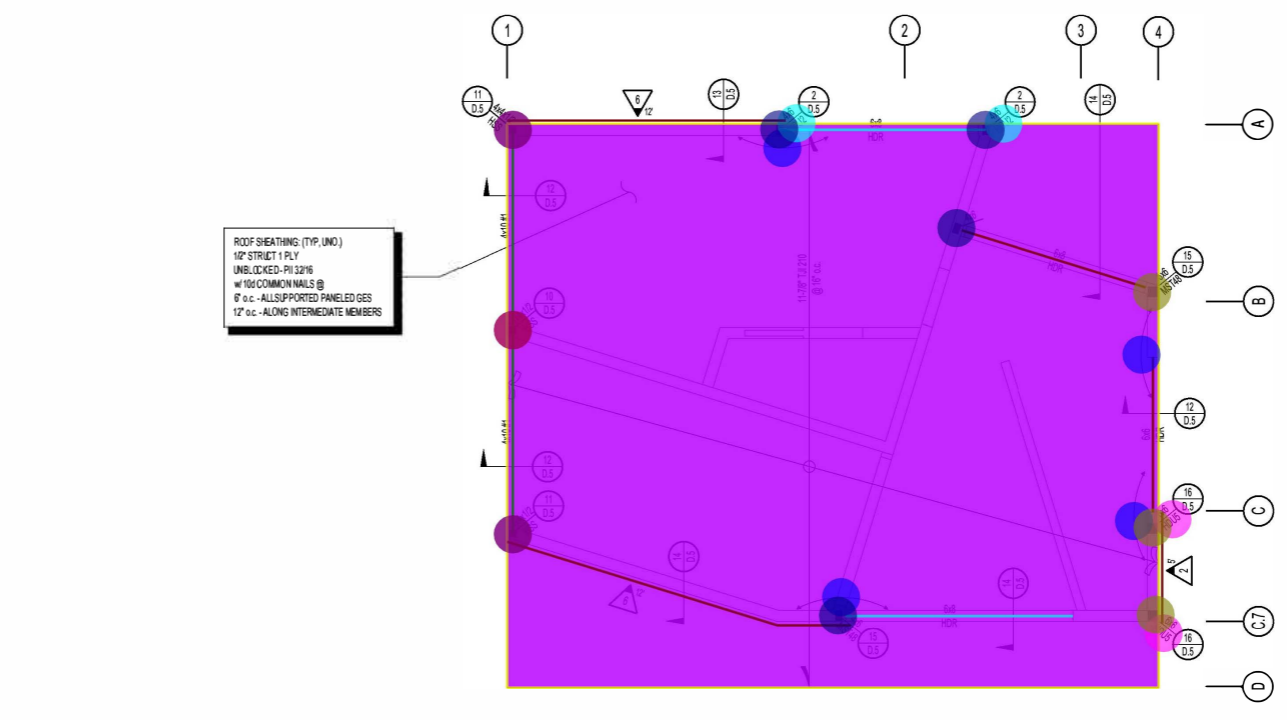
BEAM REINFORCEMENT STEEL SHALL BE
FOOTING AND FULLY DEVELOPED AROUND
TON.

LA CITY LICENSED DEPUTY INSPECTOR IS
AL CONNECTIONS, FOOTINGS, GRADE BEAMS
S INSTALLATION.

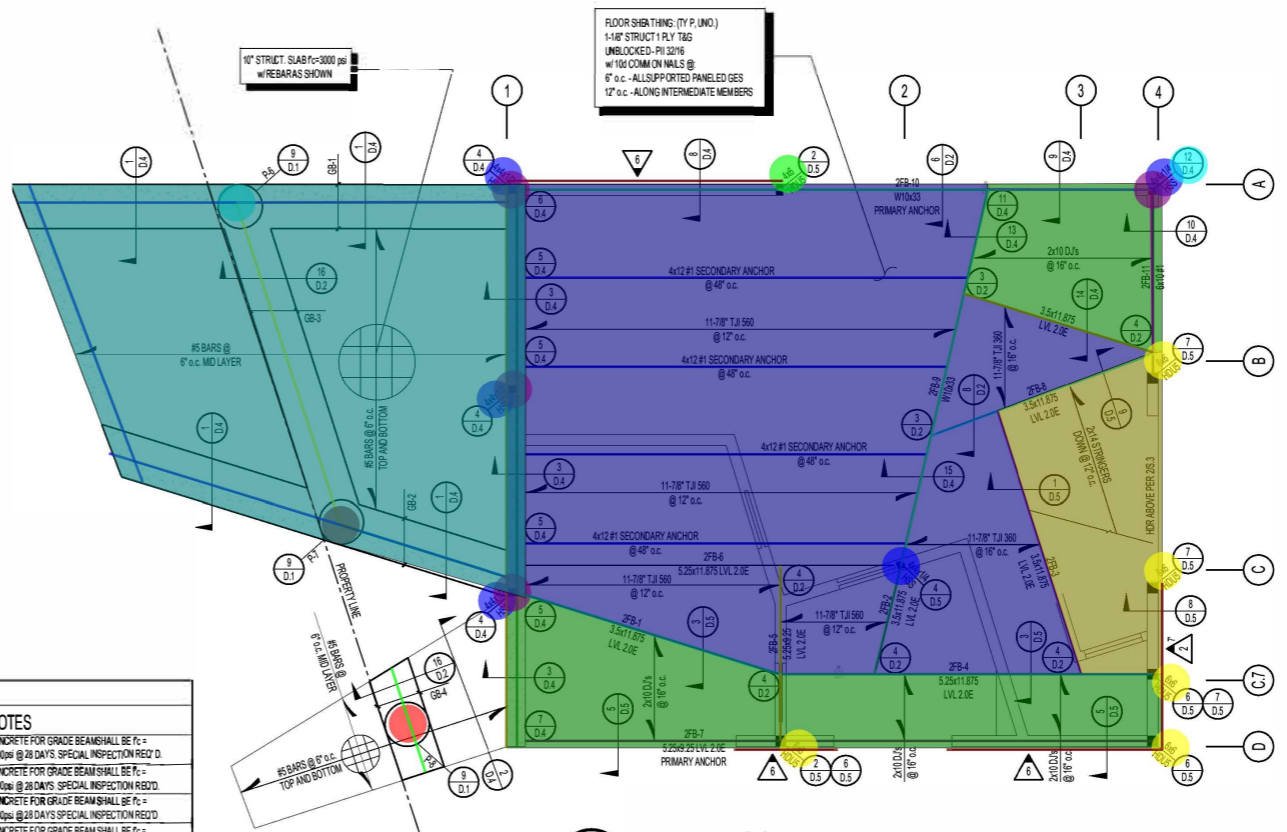
Y THE ENGINEER OF RECORD IS REQUIRED IN
BULLETIN PRC 2008-024.

GRADE BEAM SCHEDULE

REBAR	DOWELS/SITES	NOTES
(4) #4 TOP	#4 TES @ 12" o.c.	CONCRETE FOR GRADE BEAM SHALL BE F _c = 3000psi @ 28 DAYS SPECIAL INSPECTION REQ'D.
(4) #4 BOTTOM	#4 TES @ 12" o.c.	CONCRETE FOR GRADE BEAM SHALL BE F _c = 3000psi @ 28 DAYS SPECIAL INSPECTION REQ'D.
(4) #4 TOP	#4 TES @ 12" o.c.	CONCRETE FOR GRADE BEAM SHALL BE F _c = 3000psi @ 28 DAYS SPECIAL INSPECTION REQ'D.
(4) #4 BOTTOM	#4 TES @ 12" o.c.	CONCRETE FOR GRADE BEAM SHALL BE F _c = 3000psi @ 28 DAYS SPECIAL INSPECTION REQ'D.
(3) #4 TOP	#4 TES @ 12" o.c.	CONCRETE FOR GRADE BEAM SHALL BE F _c = 3000psi @ 28 DAYS SPECIAL INSPECTION REQ'D.
(3) #4 BOTTOM	#4 TES @ 12" o.c.	CONCRETE FOR GRADE BEAM SHALL BE F _c = 3000psi @ 28 DAYS SPECIAL INSPECTION REQ'D.
(3) #4 TOP	#4 TES @ 12" o.c.	CONCRETE FOR GRADE BEAM SHALL BE F _c = 3000psi @ 28 DAYS SPECIAL INSPECTION REQ'D.
(3) #4 BOTTOM	#4 TES @ 12" o.c.	CONCRETE FOR GRADE BEAM SHALL BE F _c = 3000psi @ 28 DAYS SPECIAL INSPECTION REQ'D.
(3) #4 TOP	#4 TES @ 12" o.c.	CONCRETE FOR GRADE BEAM SHALL BE F _c = 3000psi @ 28 DAYS SPECIAL INSPECTION REQ'D.
(3) #4 BOTTOM	#4 TES @ 12" o.c.	CONCRETE FOR GRADE BEAM SHALL BE F _c = 3000psi @ 28 DAYS SPECIAL INSPECTION REQ'D.



2 ROOF FRAMING PLAN
SCALE: 1/4" = 1'



1 UPPER FLOOR FRAMING PLAN
SCALE: 1/4" = 1'
BASE LEVEL DIAPHRAGM

All ideas, designs, arrangements and plans indicated or represented by this drawing are owned by and property of CPE+D and were created, evolved and developed for use on and in connection with the specified project. None of such ideas, designs, arrangements, or plans shall be used by or disclosed to any person, firm or corporation for any purpose whatsoever without the written permission of CPE+D. Written dimensions shall take precedence over scaled dimensions. Contractor shall verify and be responsible for all dimensions and conditions on the job, and this office must be notified of any variations from the dimensions and conditions shown by these drawings.



Date	Issue
3/11/19	PC Submittal
10/17/19	Issued for Permit

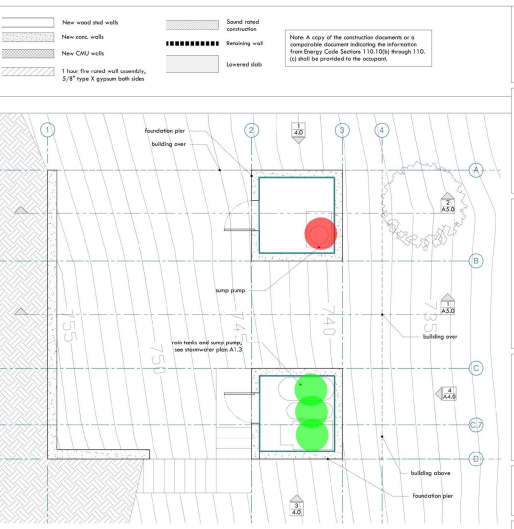
Roof and Floor Framing Plans

Gutierrez Residence **S.3**

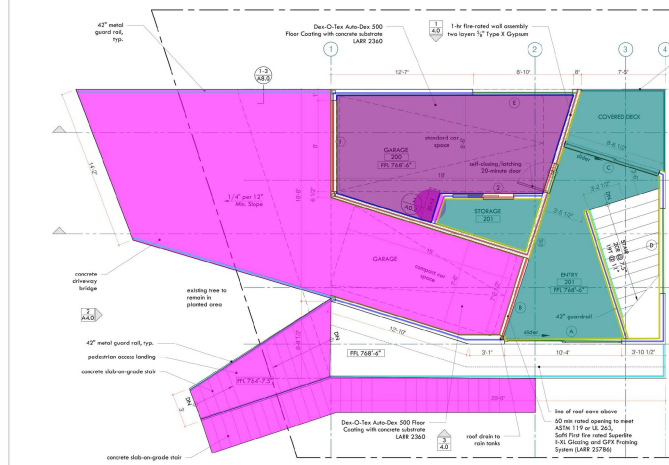


ROOF PLAN
SCALE: 1/4"=1'-0"

- water detector and carbon monoxide
- (2x6) 11'-6" 74.1 FT
 - (2x6) 4H 46.9 FT
 - (2X4) 11'-6" 6.2 FT
 - 9" Concrete Driveway 444.0 SQ FT
 - Plywood Floor 143.5 SQ FT
 - Hard Wood Flooring 437.9 SQ FT
 - Tile Flooring 66.2 SQ FT
 - Paint @ Wall 11'-6" H 162.5 FT
 - Paint @ Bath 5'H 24.7 FT
 - Wall Tile @ Bath 19.6 FT
 - Wall Tile @ Bath 7'H 8.5 FT
 - Wall Tile Full Height @ Bath 28.1 FT
 - 4" Tile Base @ Bath 150.4 FT
 - 4" Wood/ MDF Wall Base 5.6 FT
 - Floor Transition Strip 11.8 FT
 - Paint @ Hand Rail 36"H 6.2 FT
 - Paint @ Guard Rail 42"H 2.0 EA
 - (3'-0"x4'-9") Dining Table With 4 ... 1.0 EA
 - (2'-6"x1'-9") Cooking Stove 1.0 EA
 - (5'-0"x5'-6") 2 Cushion Bed 1.0 EA
 - Wall Mounted Cabinets With Do... 2.0 EA
 - Book Shelf 7.2 FT
 - Humidity Control Fan 1.0 EA
 - Smoke Detector And Carbon Mo... 2.0 EA
 - (1'-4"x4'-2") Small 1.0 EA
 - Water Closet 1.0 EA
 - Lavatory 1.0 EA
 - Bath Tub 1.0 EA
 - Heat Detector 1.0 EA
 - Dust Detector 1.0 EA
 - Kitchen Sink 1.0 EA
 - Upper Cabinets 13.5 FT
 - Base Cabinets 12.6 FT
 - (30"x24") Refrigerator 1.0 EA
 - 24" Dish Washer 1.0 EA
 - (2"x6") Wall 8'-7"H 48.2 FT
 - "EVSE" Electric Vehcal Charging 1.0 EA
 - Guard Rail 42"H 124.2 FT
 - 1 HR Rated Wall 30.8 FT
 - (2x6) 4H 29.7 FT
 - Paint @ Wall 9' 204.2 FT
 - (2X4) 9'-6" Average Height 11.7 FT
 - Sealed Concrete Floor 181.1 SQ FT
 - Hard Wood Floor 196.2 SQ FT
 - Floor Transition Strip 21.3 FT
 - 4" Wood/ MDF Base 85.7 FT
 - 6" Rubber Cove Base 45.8 FT
 - 4" Concrete Stair Slab 151.1 SQ FT
 - Hard Wood Stairs "20 Riser@7.... 1.0 EA
 - Paint @ Foundation Walls 53.1 FT
 - Sump Pump 1.0 EA
 - Rain Tanks 3.0 EA
 - Carlisle TPO Roof Membrane 630.4 SQ FT
 - (2x8) Parapet Wall 102.3 FT
 - Cant Strip 99.5 FT
 - Aluminum or Metal Roof Parap... 103.5 FT
 - Two Plumbing Line From Roof T... 2.0 EA
 - Roof Drains 3.0 EA
 - Plywood Sheathing 629.4 SQ FT

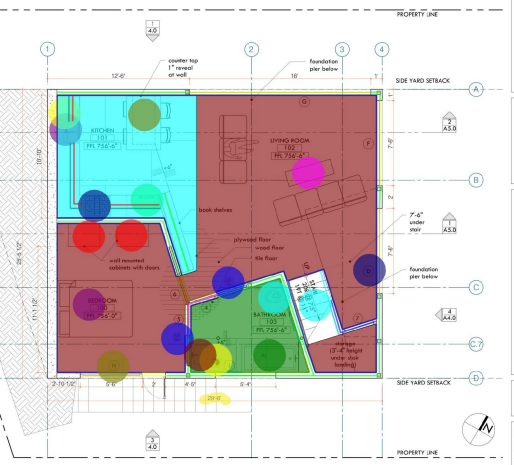


FOUNDATION PLAN
SCALE: 1/4"=1'-0"



LEVEL 2 - GARAGE
SCALE: 1/4"=1'-0"

- water detector and carbon monoxide
- New wood stud walls
- New conc. walls
- New CMU walls
- 1 hour fire-rated wall assembly, 5/8" type X gypsum both sides
- Sound rated construction
- Insulating-wat
- Louvered doors



Floor Plans
SCALE: 1/4"=1'-0"

revision
Floor Check tab. CS/17/19
PC No. 1 SA/KA/19

project owner
Perez Company
14400 Wilshire Blvd., Suite 117
Beverly Hills, CA 90210
C 310-202-2524

permit numbers
Building permit: 18000-000000000
Mechanical permit: 18000-000000000
Plumbing permit: 18000-000000000
Fire alarm permit: 18184-00004

project file and address
VERACITY
ESTIMATING
Construction Estimator Service

project No.
CRS

architect
ANDRZEJCZAK ARCHITECTS
14400 Wilshire Blvd., Suite 117
Beverly Hills, CA 90210
Tel: 310-202-2524
and@andrzejczakarchitects.com

stamp

drawing
Floor Plans

A 2.0

scale
written
drawn by
1/17/2020 9:44 AM
1
not to scale

WINDOW SCHEDULE NOTE: ALL GLASS TO BE TEMPERED

NOTES

- Window sizes as called for in this schedule are **ROUGH** opening sizes unless noted otherwise. Refer to window details and verify all window sizes in field prior to ordering.
- Submit to Architect manufacturer coordination order list and all shop drawings for review e-mail PDF's to office@venacityarchitects.com
- VERIFY that window manufacturer's schedule is valid.
- All exterior windows must be installed with thermal break, or shall be for the field.
- All exterior window must have an exterior weather coat, 1/4" or shall be for the field.

LEGEND

WD	WOOD	GLAS	Single Lite
AND	ANKERIZED	WF	Wood Door
OL	CLEAR OUTDOOR UV FINISH	WF	Wood Frame
CL	PRIVACY GLASS - SEE SPECIFICATION	CL	CLEAR
		ALUM	Aluminum
		FR	FRAME
		DB	DEAD BOLT
		FR	PRIVACY
		DB	DEAD BOLT

ROOM SYM.	LOCATION	QTY	TYPE	SIZE	FRAME	OPER	GLAZING	REMARKS
201 (A)	ENTRY	1	III	12'-4"	ALUM	Alno 2'-0" SOUTH	FIXED/OPEN	DOUBLE TEMPERED
201 (B)	ENTRY	1	II	7'-0"	ALUM	Alno 2'-0" INTERIOR	FIXED	DOUBLE TEMPERED
201 (C)	ENTRY	1	III	8'-0"	ALUM	Alno 2'-0" NORTH	FIXED/OPEN	DOUBLE TEMPERED
201 (D)	ENTRY	1	III	7'-0"	ALUM	Alno 2'-0" EAST	FIXED	DOUBLE TEMPERED
200 (E)	GARAGE	1	III	8'-10"	ALUM	Alno 2'-0" NORTH	FIXED	DOUBLE TEMPERED
104 (F)	LIVING ROOM	1	III	7'-0"	ALUM	Alno 2'-0" EAST	FIXED	DOUBLE TEMPERED
104 (G)	LIVING ROOM	1	III	18'-0"	ALUM	Alno 2'-0" NORTH	FIXED	DOUBLE TEMPERED
100 (H)	BEDROOM 1	1	III	7'-0"	ALUM	Alno 2'-0" SOUTH	FIXED/OPEN	DOUBLE TEMPERED - ENERGY EFFICIENT
103 (I)	BATHROOM 1	1	III	8'-4"	ALUM	Alno 2'-0" SOUTH	FIXED/OPEN	DOUBLE TEMPERED

DOOR SCHEDULE

NOTES

- Clearing in doors to be 5/16" limited - clear.
- Unless noted otherwise all doors and frames to be varnish finish.
- Confirm all dimensions after rough framing is completed. If this causes any discrepancies please call the architect.

LEGEND

SG	Single	GLAS	Single Lite
ROLL	Roll-Up Sectional	WF	Wood Door
SCWD	Steel Deck Wood Door	WF	Wood Frame
HWDD	Hard Core Wood Door	OL	CLEAR
SLDR	Power Slides on track	ALUM	Aluminum
FOLD	Folding Glass door	FR	FRAME
XSLDR	Equiped Slides on track	DB	DEAD BOLT
DOOR	Double door	FR	PRIVACY
		DB	DEAD BOLT

DOOR HANDLE TYPES

FR	PRIVACY
DB	DEAD BOLT

DOOR HANDLE TYPES

SATIN	SATIN
-------	-------

DOOR SWING DIAGRAM (MODE)

SINGLE DOOR: [Diagram showing door swing with labels: Clear outside, Clear inside, Clear outside, Clear inside]

DOUBLE DOOR: [Diagram showing double door swing with labels: Clear outside, Clear inside, Clear outside, Clear inside]

ROOM/DOOR No.	LOCATION	MODE	TYPE	WIDTH	HEIGHT	DOOR	FRAME	HARDWARE	REMARKS
200 (1)	GARAGE	-	IY	8'-0"	7'-0"	ROLL	WD	WD	Finish Grade
200 (2)	GARAGE	-	II	7'-0"	7'-0"	SCWD	WD	WD	Finish Grade
200 (3)	GARAGE	-	I	7'-0"	7'-0"	SCWD	WD	WD	Finish Grade
103 (4)	BATHROOM 1	-	III	7'-0"	7'-0"	SCWD	WD	WD	Finish Grade
100 (5)	BATHROOM 1	-	III	7'-0"	7'-0"	SCWD	WD	WD	Finish Grade
100 (6)	BEDROOM	-	III	7'-0"	7'-0"	SCWD	WD	WD	Finish Grade
104 (7)	STORAGE CLOSET	-	I	7'-0"	7'-0"	SCWD	WD	WD	Finish Grade

KITCHEN APPLIANCES & FIXTURES

CONTRACTOR NOTE: All appliances indicated below are to be furnished by client and installed by contractor (FOIC)

ROOM SYM	LOCATION	DESCRIPTION	QTY	MANUFACTURER	TYPE	MODEL/PART	FINISH/COLOR	COMMENTS
101 (1)	KITCHEN	30" REFRIGERATOR	1					
101 (2)	KITCHEN	30" GAS COOKTOP	1					
101 (3)	KITCHEN	SINK	1					
101 (4)	KITCHEN	RANGE Hood	1					
101 (5)	KITCHEN	Stove	1					

KITCHEN ROOM #101

BATHROOM FIXTURES

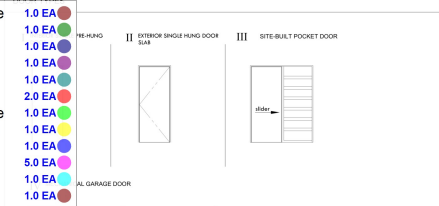
CONTRACTOR NOTE: All appliances indicated above are to be furnished by client and installed by contractor (FOIC), including but not limited to:

- 1. shower, thermostat rough-in

ROOM No.	SYMB	LOCATION	DESCRIPTION	MANUFACTURER	MODEL	PART No.	FINISH/COLOR	COMMENTS
ALL BATHROOMS								
100 (1)	1	BATHROOM 1	toilet					
100 (2)	2	BATHROOM 1	tub faucet					
100 (3)	3	BATHROOM 1	tub					
100 (4)	4	BATHROOM 1	sink faucet					
100 (5)	5	BATHROOM 1	sink					

BATHROOM 1 ROOM #101

- (10'-4"x8'-0") Tempered Glass Fixed & Open Window W/ Aluminum Frame
- (7'-2"x9'-0") Tempered Glass Fixed Window W/ Aluminum Frame
- (8'-6"x8'-0") Tempered Glass Fixed & Open Window W/ Aluminum Frame
- (7'-6"x16'-0") Tempered Glass Fixed Window W/ Aluminum Frame
- (8'-10"x4'-6") Tempered Glass Fixed Window W/ Aluminum Frame
- (7'-6"x7'-6") Tempered Glass Fixed Window W/ Aluminum Frame
- (16'-4"x7'-6") Tempered Glass Fixed & Open Window W/ Aluminum Frame
- (5'-4"x5'-4") Tempered Glass Fixed & Open Window W/ Aluminum Frame
- (8'-0"x8'-0") Wooden Door
- (2'-8"x8'-0") Wooden Door
- (2'-8"x3'-4") Wooden Door
- Kitchen Faucet



SKYLIGHTS - Velux LARR 24622 typical

ROOM SYM	LOCATION	QTY	TYPE	MODEL	Outside curb/sh/inside curb/dim	FRAME	OPER	GLAZING	REMARKS
					length width length width	MAT. FIN			

Architect

Floor Check by: 05/17/19

PC No. 1 44/44/19

permit number

1000-0000-0000
1000-0000-0000
1000-0000-0000
1000-0000-0000
class number: 811610084

VERACITY ESTIMATING

Construction Estimation Services

project No.

CRS

Architect

ANONYMOUS ARCHITECTS
2400 W. 10th St., Suite 117
Tulsa, Oklahoma 74104
Tel: 918-583-2128
Fax: 918-583-2129
office@anonymousarchitects.com

stop

drawing

Schedules

A 3.0

scale

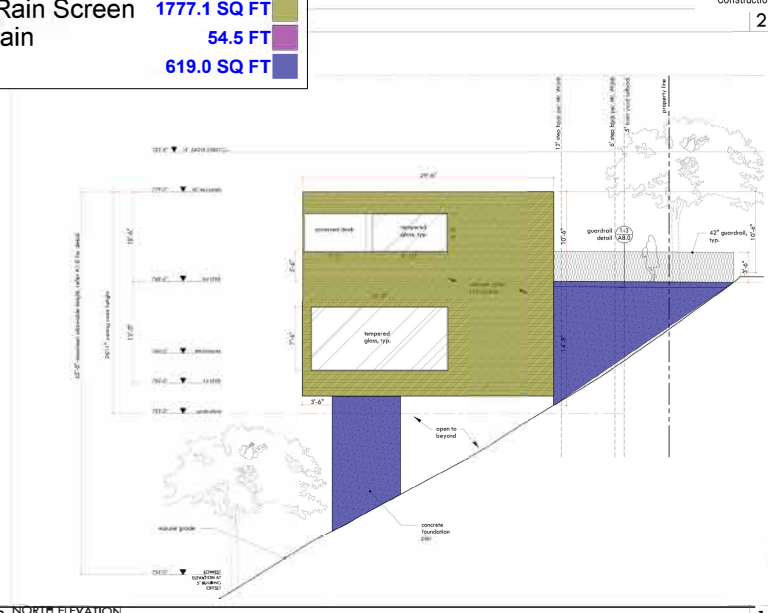
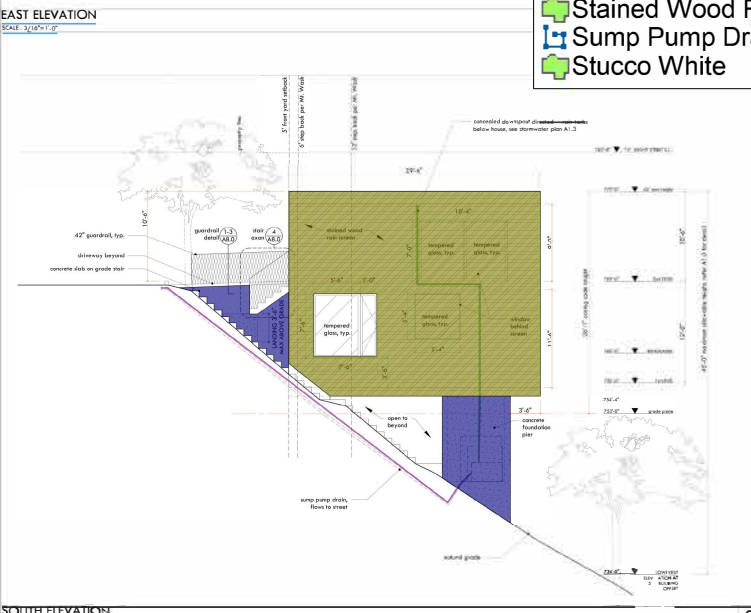
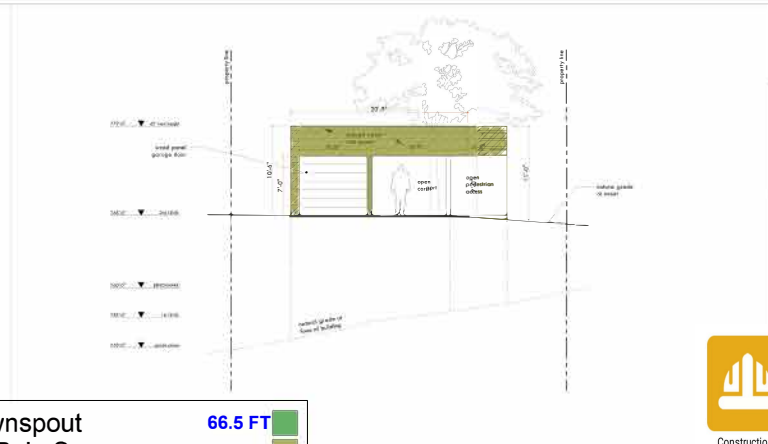
version

drawn by

7/17/2020 9:45 AM

last print & save

We warrant that the preparation of our plans, specifications, and contract documents shall be in accordance with the highest standards of the profession, and that our work shall be performed in accordance with the applicable laws and regulations of the state of Oklahoma.



	Concealed Downspout	66.5 FT
	Stained Wood Rain Screen	1777.1 SQ FT
	Sump Pump Drain	54.5 FT
	Stucco White	619.0 SQ FT



Project No. _____
 Date: _____
 Rev. No. 1
 Rev. Date: _____
 Project Name: _____
 Project Location: _____
 Project Description: _____
 Project Manager: _____
 Estimator: _____
 Checker: _____
 Date: _____

Project No. **CRS**
 Address: _____
 City: _____
 State: _____
 Zip: _____
 Phone: _____
 Fax: _____
 Email: _____
 Website: _____
 Building Elevations
 A 4.0
 Date: _____
 Drawn by: _____
 1/1/2009 4:42 AM
 1