

Item #	Ref. Sheet #	Item Description	Unit	Quantity	Wastage	Quantity w/ Wastage	Unit Material Cost	Total Material Cost	Unit Manhour	Hourly Wage	Unit Labor Cost	Total Labor Cost	Sub Cost	Total Trade Cost
DIVISION.01 GENERAL REQUIREMENTS														
1		Supervision and Coordination	LS	1	0%	1	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ 15,000.00	
2		Submittals and Shop drawings	LS	1	0%	1	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -	
3		Final Cleaning	LS	1	0%	1	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ 8,600.00	
4		Mobilization Costs	LS	1	0%	1	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ 6,500.00	
5		Temporary Control & Facilities	LS	1	0%	1	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -	
DIVISION 02- SITE WORK/ EXISTING CONDITIONS														
Demolition														
6		Remove All Existing Lights	SF	7049	0%	7049	\$ -	\$ -	0.010	\$ 62.00	\$ 0.62	\$ 4,370.38	\$ 4,370.38	
7		Remove All Gypsum Board @ Walls (12'H, 254 LF)	SF	3048	0%	3048	\$ -	\$ -	0.012	\$ 62.00	\$ 0.74	\$ 2,267.71	\$ 2,267.71	
8		Remove Door Hardware	EA	4	0%	4	\$ -	\$ -	0.700	\$ 62.00	\$ 43.40	\$ 173.60	\$ 173.60	
9		Remove Electrical Conduits Up/Dn & Cap	LF	90	0%	90	\$ -	\$ -	0.010	\$ 62.00	\$ 0.62	\$ 55.80	\$ 55.80	
10		Remove Existing Gypsum Board @ Column	SF	1452	0%	1452	\$ -	\$ -	0.012	\$ 62.00	\$ 0.74	\$ 1,080.29	\$ 1,080.29	
11		Remove Plumbing Pipe Up/Dn & Cap	LF	60	0%	60	\$ -	\$ -	0.011	\$ 62.00	\$ 0.68	\$ 40.92	\$ 40.92	
12		Removed Abandoned Equipment	EA	1	0%	1	\$ -	\$ -	8.000	\$ 62.00	\$ 496.00	\$ 496.00	\$ 496.00	
13		Remove All the Debris And Cleanup	SF	7049	0%	7049	\$ -	\$ -	0.010	\$ 62.00	\$ 0.62	\$ 4,370.38	\$ 4,370.38	
Dumpster Enclosure (Detailed Assumed)														
CMU Wall														
14		(12") CMU Wall W/ Reinforcement & Grout Fill Sells 2 H (40 LF)	SF	80	5%	84	\$ 8.50	\$ 714.00	1.250	\$ 62.00	\$ 77.50	\$ 6,510.00	\$ 7,224.00	
15		(8") CMU Wall W/ Reinforcement & Grout Fill Sells 8 H (40 LF)	SF	320	5%	336	\$ 8.50	\$ 2,856.00	1.250	\$ 62.00	\$ 77.50	\$ 26,040.00	\$ 28,896.00	
Slab & Footing														
16	D-100	(4") Thick Class "B" 4500 PSI Concrete Slab (199 SF)	CY	2.45	5%	3	\$ 264.00	\$ 679.14	2.200	\$ 62.00	\$ 136.40	\$ 350.89	\$ 1,030.03	
17		(6") Dia & (3'-6" H) Solid Filled Bollard (10 EA) (0.19 SF)	CY	0.25	5%	0	\$ 264.00	\$ 69.30	2.200	\$ 62.00	\$ 136.40	\$ 35.81	\$ 105.11	
18		(16"x8") Concrete W/ Reinforcement Footing (0.82 SF)	CY	1.28	5%	1	\$ 264.00	\$ 354.82	2.200	\$ 62.00	\$ 136.40	\$ 183.32	\$ 538.14	
Excavation														
19		(3'-0"x2'-0") Excavation	CY	8.88	5%	9	\$ 7.20	\$ 67.13	0.120	\$ 62.00	\$ 7.44	\$ 69.37	\$ 136.50	
20		Backfill	CY	4.64	5%	5	\$ 8.10	\$ 39.46	0.152	\$ 62.00	\$ 9.42	\$ 45.91	\$ 85.38	
Steel Gate & Post														
21		(20'x6') Double Panel Steel Gate	EA	1	0%	1	\$ 1,120.00	\$ 1,120.00	0.120	\$ 62.00	\$ 7.44	\$ 7.44	\$ 1,127.44	
22		4" OD. Galva Pipe Post (3/16") Wall Clad W/ Cedar (1x6) (6' H)	EA	2	0%	2	\$ 85.00	\$ 170.00	0.120	\$ 62.00	\$ 7.44	\$ 14.88	\$ 184.88	
23		(2x4) Wood Blocking	LF	12	5%	13	\$ 4.14	\$ 52.16	0.090	\$ 62.00	\$ 5.58	\$ 70.31	\$ 122.47	
24		(2x6) Wood Blocking	LF	12	5%	13	\$ 4.14	\$ 52.16	0.090	\$ 62.00	\$ 5.58	\$ 70.31	\$ 122.47	
Post Footing & Excavation														
25		(1'x3') Concrete Footing (2EA) (0.78 SF)	CY	0.17	5%	0	\$ 264.00	\$ 47.12	2.200	\$ 62.00	\$ 136.40	\$ 24.35	\$ 71.47	
26		Excavation	CY	0.17	5%	0	\$ 7.20	\$ 1.29	0.120	\$ 62.00	\$ 7.44	\$ 1.33	\$ 2.61	
Subtotal (Site Work/ Existing Conditions)								\$ 6,223				\$ 46,279		\$ 52,502
												PROJECTED COST	\$ 52,502	
												INSURANCE	3%	\$ 1,575
												CONTINGENCY	5%	\$ 2,625
												OVERHEAD AND PROFIT	15%	\$ 7,875
												TAX	3.00%	\$ 187
												SUGGESTED BID	\$ 64,764	

GENERAL SHEET NOTES

- DO NOT SCALE DRAWINGS
- EXISTING GYPSUM BOARD FOR THE BUILDINGS WHICH ARE ADJACENT TO OR AFFECTED BY THE DEMOLITION WORK SHALL BE MAINTAINED TO CODE THROUGHOUT THE PERFORMANCE OF THE WORK
- THE CONTRACTOR SHALL EXERCISE CARE GUARDING OUTSIDE AREAS AND IN THE PERFORMANCE OF HIS WORK SO AS TO MINIMIZE DAMAGES TO EXISTING EQUIPMENT, APPLIANCES, WALLS AND SURFACES THAT ARE TO REMAIN UNLESS SUCH DAMAGE IS DAMAGED. THE CONTRACTOR SHALL REPLACE THE DAMAGED ITEMS OR PERFORM REMEDIAL WORK AT NO COST TO THE OWNER.
- REMOVE ALL EXISTING INTERIOR WALLS, DOORS, PARTIAL, FINISHING, PLUMBING, FIXTURES, ACCESSORIES, WALL PANELS AND ALL OTHERS TO BE REMOVED. CONCRETE, TRIM, ETC., SHALL BE MAINTAINED TO REMAIN UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ITEMS TO REMAIN FROM DAMAGE TO REMAIN.
- REMOVE ALL EXISTING INTERIOR FLOOR FINISHES, MECHANICAL, ELECTRICAL, AND ALL OTHERS TO BE REMOVED IN AREA OF TENANT BUILDOUT AS REQUIRED. SEE A-313 FOR EXTENTS OF TENANT BUILDOUT. REMOVE EXISTING FLOORING IN ALL AREAS, LEVELS, PATCH, REPAIR LEVELS AND PREP CONCRETE TO RECEIVE NEW FINISHES.
- SAFETY CUT EXISTING CONCRETE SLAB AND TRENCH FOR NEW UNDER SLOPE SANITARY PLUMBING WORK AND FLOOR FINISHING THROUGHOUT. SEE TO PROPERLY CLEAN EXISTING SLAB AS REQUIRED FOR NEW SCHEDULED FLOORING AFTER ALL SLAB PATCHES FOR NEW PLUMBING IS COMPLETE. GRIND DOWN EXISTING FLOORING AREAS OR HIGH SPOTS. SEE DETAILS UNDER A-313 FOR NEW SLAB WALL.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO IDENTIFY POINTS OF ACCESS TO THE BUILDING AND TO VERIFY MINIMUM CLEARANCES AVAILABLE FOR USE BY TRANSPORTING NECESSARY CONSTRUCTION MACHINERY, EQUIPMENT AND COMPONENTS INTO THE BUILDING. USE OF SUCH POINTS OF ACCESS SHALL BE APPROVED BY THE OWNER. GC SHALL PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED TO PROTECT OWNERS AND VISITORS PERSONNEL AND GENERAL PUBLIC FROM INJURY DUE TO DEMOLITION WORK.

- PROVIDE DUST PROOF PARTITIONS AND CLOSURES AS REQUIRED TO PREVENT SPREAD OF DUST OR FUMES TO OCCUPIED PORTIONS OF THE BUILDING. COORDINATE WITH THE OWNER ANY CONSTRUCTION ACTIVITIES WHICH MAY CAUSE EXCESSIVE NOISE, AIRBORNE DUST OR COMPROMISE THE NORMAL FUNCTIONALITY OF THE SPACE. MAINTAIN CONTINUITY OF SERVICES TO OCCUPIED AREAS OF THE BUILDING. PROTECT ANY ITEMS INDICATED TO REMAIN FROM BEING SOILED OR DAMAGED.
- REMOVE AND REPLACE ALL GYP BOARD AT DEMOLITION WALLS, EXTERIOR WALLS, AND ANY REMAINS WHICH ARE REQUIRED UP TO 4". CHECK FOR HOLEDS AND REPAIR FINISHES TO ARCHITECT AND OWNER. IF REMOVING GYP BOARD FROM A FINISHED WALL, REPLACE GYP BOARD TO MATCH REMAINING WALLS.

EXISTING LIFE SAFETY AND EMERGENCY SYSTEMS NOTES

- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO IDENTIFY EXISTING COMPONENTS AND ASSEMBLIES WITHIN THE BUILDING THAT ARE CONTROLLED BY FIRE ALARMS, SMOKE DETECTORS AND TO DETERMINE THEIR RELAY RATING. WHEN THE DISCUSSION OF NEW WORK REQUIRES THAT THESE ASSEMBLIES BE DETACHED, THE CONTRACTOR SHALL UNDERTAKE TO REPAIR THE EXISTING WORK SO THAT THE REQUIRED RATING IS MAINTAINED. EXISTING LIFE SAFETY AND EMERGENCY SYSTEMS MAY NOT BE SHOWN ON THE DRAWINGS IN THEIR ENTIRETY.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE IDENTIFICATION OF LOCATION AND EXTENT OF THESE SYSTEMS INCLUDING, BUT NOT LIMITED TO, FIRE SMOKE ALARMS, SMOKE DETECTION SYSTEMS AND EMERGENCY LIGHTING SYSTEMS AS THEY MAY BE AFFECTED BY NEW WORK. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ACCOMMODATING THESE SYSTEMS WHEN AFFECTED BY NEW WORK SO THAT ALL APPLICABLE CODE REQUIREMENTS ARE SATISFIED.

DEMOLITION LEGEND

- INDICATES EXISTING CONSTRUCTION TO REMAIN
- INDICATES EXISTING CONSTRUCTION TO BE DEMOLISHED

DEMOLITION KEYNOTES

- ALL EXISTING WINDOWS TO REMAIN, TYPICAL UNLESS NOTED OTHERWISE.
- EXISTING INTERIOR WALLS TO REMAIN. REMOVE AND REPLACE ALL EXISTING GYP BOARD UP TO 4" AT EXISTING INTERIOR AND EXTERIOR WALLS. CHECK FOR ANY HOLEDS AND REPORT THINGS TO GC AND ARCHITECT MAINTAIN THE FINISH OF WALL WHEN REMOVING GYP BOARD.
- EXISTING INTERIOR CEILING TO REMAIN. THE CONTRACTOR SHALL MAINTAIN CONSTRUCTION. REMOVE AND REPLACE ALL EXISTING GYP BOARD UP TO 4". HOLD NEW GYP BOARD AS TIGHT AS POSSIBLE.
- GC TO DETERMINE EXTENT OF DAMAGE FROM REMOVAL OF WORK.
- EXISTING DOORS TO BE LOCATED IN PLACE AND HARDWARE REMOVED. COORDINATE WITH OWNER. GC RESPONSIBLE FOR PATCHING, SEALING AND INSTALLING DOORS IN LINE NEW CONSTRUCTION.
- EXISTING DOORS TO BE FIT TO NEW CONSTRUCTION.
- EXISTING AND REMAINING LOCATIONS IN NEW. GC SHALL RESPECT ALL FLOOR AREAS FOR DAMAGED, SUBJECT, IMPROVING LEVELS AND REPAIR ALL FLOOR AREAS AS NECESSARY THROUGHOUT TO RECEIVE NEW FLOOR FINISHES AND FINISHES CONFORMING ANY CODES.
- REMOVE EXISTING LIFE SAFETY EQUIPMENT THROUGHOUT SPACE.
- MAINTAIN EXISTING CONTRACTOR TO REMAIN FOR 15 MIN.
- GENERAL CONTRACTOR SHALL VERIFY AND OBTAIN ELEVATION AS NECESSARY TO ACCOMMODATE NEW UTILITIES TO EXISTING DOOR TO REMAIN. CLEAN AND REPAIR TO "LIKE NEW" CONDITION. REPLACE HARDWARE PER OWNER SCHEDULE, COORDINATE WITH OWNER.
- REMOVE ALL THE REMOVAL PRIOR TO START.
- REMOVE EXISTING LIGHT FIXTURES THROUGHOUT SPACE.
- REMOVE EXISTING PLUMBING ELECTRICAL, CONDUIT AND CAP INCLUDING BUT NOT LIMITED TO FLOOR PANEL, FLOOR DRAIN, ETC.
- ALL DEMOLISHED EQUIPMENT SHALL BE REMOVED, BULK CHASE AS NECESSARY.
- SLAB THICKNESS MAY VARY THROUGHOUT GREY CAST SLAB AREA OF WORK.

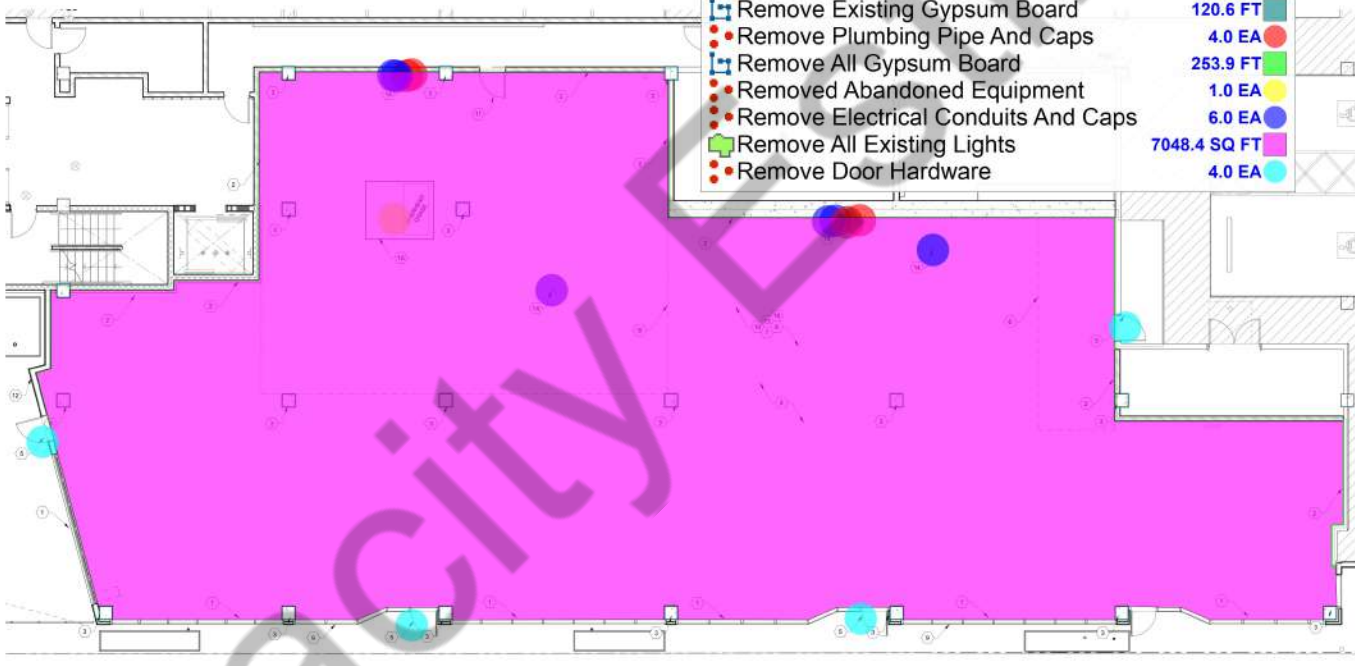
GC SHALL VERIFY ALL DIMENSIONS PRIOR TO BIDDING AND REPORT ANY DISCREPANCIES TO ARCHITECT'S ATTENTION IMMEDIATELY.

GC SHALL REMOVE ALL EXISTING MATERIALS, FINISHES, EQUIPMENT AND OUTFITTING. NO MATERIALS, EQUIPMENT, DUCTWORK SHALL BE REUSED IN ANY INSTANCE.

GC SHALL MOVE THE EXISTING FIRE SPRINKLER SYSTEM AS NECESSARY TO ACCOMMODATE THE NEW SPACE PLAN CONFIGURATION AND TENANT IMPROVEMENTS. PROVIDE NOTES AND SEALED FIRE SPRINKLER DRAWINGS TO THE ARCHITECT FOR REVIEW.

NOTE: EXISTING SLAB AND DECK ARE 4" CONCRETE SLAB. GC SHALL NOT CHANGE FLOOR FINISH TO REMAIN. THE SLAB SHALL BE OPEN TO REMAIN WITH THE 1.5" REINFORCING TORSION CHAIRS. THE GC SHALL REVIEW AND AGRREE TO AVOID REMOVAL ANY STRUCTURAL MEMBERS. REVIEW ANY HISTORICAL CONSIDERING ON CONSULTS ENGINEER ARCHITECTS MUST BE CONSULTED TO AND IT CABLES THE 1.5" CONCRETE STRUCTURE ASSOCIATED WITH THESE DOCUMENTS.

Remove Existing Gypsum Board	120.6 FT
Remove Plumbing Pipe And Caps	4.0 EA
Remove All Gypsum Board	263.9 FT
Removed Abandoned Equipment	1.0 EA
Remove Electrical Conduits And Caps	6.0 EA
Remove All Existing Lights	7048.4 SQ FT
Remove Door Hardware	4.0 EA



DEMOLITION PLAN
SCALE 1/8\"/>

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DEMOLITION FLOOR PLAN
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