

Building Data Summary

Project ID:	Residential - *****
Location:	Chiquita Blvd N, Cape Coral, FL 33993
Scope of Work:	Shell Construction - GC
Date:	



Item #	Ref. Sheet #	Item Description	Unit	Quantity	Wastage	Quantity w/ Wastage	Unit Material Cost	Total Material Cost	Unit Manhour	Hourly Wage	Unit Labor Cost	Total Labor Cost	Sub Cost	Total Trade Cost
DIVISION 01 GENERAL REQUIREMENTS														
1		Supervision and Coordination	LS	1	0%	1	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -	12,000
2		Submittals and Shop drawings	LS	1	0%	1	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -	2,200
3		Final Cleaning	LS	1	0%	1	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -	3,800
4		Mobilization Costs	LS	1	0%	1	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -	6,000
5		Temporary Control & Facilities	LS	1	0%	1	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -	4,200
6		Scaffolding	SF	5800	0%	5800	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ -	10,846
Subtotal (General Requirements)													\$	39,046

DIVISION 02- SITE WORK/ EXISTING CONDITIONS															
Foundation															
7		Excavation Wall & Pad Concrete Footing	CY	119.5	10%	131	\$ -	\$ -	0.850	\$ 50.00	\$ 42.50	\$ 5,586.63	\$ 5,586.63		
Site															
8		4" Concrete Sidewalk - 636 SF - Compacted Subgrade	CY	8	10%	9	\$ 265.65	\$ 2,271.48	2.850	\$ 50.00	\$ 142.50	\$ 1,218.47	\$ 3,489.95		
9		6" H Solid Wood Fence	LF	42	10%	46	\$ 85.62	\$ 3,955.64	0.165	\$ 50.00	\$ 8.25	\$ 381.15	\$ 4,336.79		
10		6" Concrete Curb W/ Gutter	LF	220	10%	242	\$ 14.20	\$ 3,436.40	0.120	\$ 50.00	\$ 6.00	\$ 1,452.00	\$ 4,888.40		
11		6" Taper Curb	LF	7	10%	8	\$ 12.40	\$ 95.48	0.125	\$ 50.00	\$ 6.25	\$ 48.13	\$ 143.61		
12		Light Duty Asphalt	SF	5901	10%	6491	\$ 5.85	\$ 37,972.94	0.065	\$ 50.00	\$ 3.25	\$ 21,096.08	\$ 59,069.01		
Exterior Parking															
13		4" Painted Parking Strip - 16 EA	LF	288	10%	317	\$ 1.70	\$ 538.56	0.012	\$ 50.00	\$ 0.60	\$ 190.08	\$ 728.64		
14		4" Painted Parking Prohibited Strip	LF	150	10%	165	\$ 1.70	\$ 280.50	0.012	\$ 50.00	\$ 0.60	\$ 99.00	\$ 379.50		
15		(12" Wide) Painted Arrow Sign	EA	4	10%	4	\$ 11.70	\$ 51.48	0.012	\$ 50.00	\$ 0.60	\$ 2.64	\$ 54.12		
16		Painted Handicap Sign	EA	1	10%	1	\$ 11.70	\$ 12.87	0.012	\$ 50.00	\$ 0.60	\$ 0.66	\$ 13.53		
17		(6'-0" L) Wheel Stopper	EA	14	10%	15	\$ 11.70	\$ 180.18	0.012	\$ 50.00	\$ 0.60	\$ 9.24	\$ 189.42		
Subtotal (Site Work/ Existing Conditions)													\$	48,796	
													\$	30,084	
														\$	78,880

DIVISION 03- CONCRETE															
Foundation															
18		Footing (18"x18") Concrete Footing - 142 LF #5@12" Top & Bot.Short Bar (2) #5 Top & Bot. Long Bar	CY	11.83	10%	13	\$ 265.65	\$ 3,457.88	2.850	\$ 50.00	\$ 142.50	\$ 1,854.88	\$ 5,312.75		
19		(18"x18") Concrete Footing - 220 LF #5@12" Top & Bot.Short Bar (2) #5 Top & Bot. Long Bar	CY	18.33	10%	20	\$ 265.65	\$ 5,357.28	2.850	\$ 50.00	\$ 142.50	\$ 2,873.75	\$ 8,231.03		
20		(24"x18") Concrete Footing - 273 LF #5@12" Top & Bot.Short Bar (2) #5 Top & Bot. Long Bar	CY	30.33	10%	33	\$ 265.65	\$ 8,863.86	2.850	\$ 50.00	\$ 142.50	\$ 4,754.75	\$ 13,618.61		
21		(30"x30"x18") Pad Footing - 4 EA (4) #5 Bot.Short & Bot. Long Bar	CY	1.39	10%	2	\$ 265.65	\$ 405.85	2.850	\$ 50.00	\$ 142.50	\$ 217.71	\$ 623.56		
Slab															
22		4" Concrete Slab - 5325 SF 10 MIL Vapor Barrier	CY	65.08	10%	72	\$ 265.65	\$ 19,018.33	2.850	\$ 50.00	\$ 142.50	\$ 10,201.81	\$ 29,220.14		
23		8" Thick Concrete Pad - 636 SF	CY	15.78	10%	17	\$ 265.65	\$ 4,611.80	2.850	\$ 50.00	\$ 142.50	\$ 2,473.86	\$ 7,085.67		
24		(8"x18") Thickened - 310 LF (1) #5 Cont. Bar	CY	11.54	10%	13	\$ 265.65	\$ 3,371.84	2.850	\$ 50.00	\$ 142.50	\$ 1,808.72	\$ 5,180.56		
25		(6"x6") Thickened edge Slab - 715 LF	CY	6.62	10%	7	\$ 265.65	\$ 1,934.57	2.850	\$ 50.00	\$ 142.50	\$ 1,037.74	\$ 2,972.31		
Pre-Cast Lintel															
26		Pre-Cast Lintel Beam	LF	56	10%	62	\$ 18.00	\$ 1,108.80	1.500	\$ 50.00	\$ 75.00	\$ 4,620.00	\$ 5,728.80		
Reinforcement															
27		(2) #4x3'-0" Diagonal Crack Control Bar	Lbs.	5.34	10%	6	\$ 1.20	\$ 7.05	0.012	\$ 50.00	\$ 0.60	\$ 3.52	\$ 10.57		
28		#4x6'-0" Long Top Transfer Bar @ 12" O.C -198 LF	Lbs.	12.27	10%	13	\$ 1.20	\$ 16.20	0.012	\$ 50.00	\$ 0.60	\$ 8.10	\$ 24.29		
29		#4x6'-0" Long Top Transfer Bar @ 12" O.C -216 LF	Lbs.	14.29	10%	15	\$ 1.20	\$ 19.44	0.012	\$ 50.00	\$ 0.60	\$ 9.53	\$ 28.97		
30		#4x18'-5" Long Top Transfer Bar @ 12" O.C -108 LF	Lbs.	72.15	10%	79	\$ 1.20	\$ 95.24	0.012	\$ 50.00	\$ 0.60	\$ 47.62	\$ 142.86		
31		#4x12'-3" Long Top Transfer Bar @ 12" O.C -36 LF	Lbs.	24.05	10%	26	\$ 1.20	\$ 31.75	0.012	\$ 50.00	\$ 0.60	\$ 15.87	\$ 47.62		
Subtotal (Concrete)													\$	48,471	
													\$	30,014	
														\$	78,484

DIVISION 04- MASONRY															
8" CMU Walls															
32		8" CMU Wall As; (669 LF, 10'-6" H) W/ 1 #5 Vert Bars @ 4' O.C	SF	7025	10%	7728	\$ 8.50	\$ 65,683.75	0.060	\$ 60.00	\$ 3.60	\$ 27,819.00	\$ 93,502.75		
33		GROUT 8" CMU Wall As; (669 LF, 10'-6" H) W/ 1 #5 Vert Bars @ 4' O.C	SF	433.08	10%	476	\$ 8.50	\$ 4,049.30	0.060	\$ 50.00	\$ 3.00	\$ 1,429.16	\$ 5,478.46		
34		8" Bond Beam	LF	309	10%	340	\$ 8.50	\$ 2,889.15	0.024	\$ 50.00	\$ 1.20	\$ 407.88	\$ 3,297.03		
Subtotal (Masonry)													\$	72,622	
													\$	29,656	
														\$	102,278

DIVISION 06- WOOD, PLASTIC & COMPOSITES															
1st Floor															
35		Post 12"x12" Wood Column (10'-0"H, 4 EA)	LF	40	10%	44	\$ 6.25	\$ 275.00	0.024	\$ 50.00	\$ 1.20	\$ 52.80	\$ 327.80		
2nd Floor															
Beam/ Header															
36		4"x6" Header	LF	168	10%	185	\$ 4.65	\$ 859.32	0.024	\$ 50.00	\$ 1.20	\$ 221.76	\$ 1,081.08		
Girder															
37		Girder Trusses	LF	555	10%	611	\$ 1.70	\$ 1,037.85	0.015	\$ 50.00	\$ 0.75	\$ 457.88	\$ 1,495.73		
Truss															
38		Pre-Engineered Wood Floor Trusses @ 19.2" O.C	SF	4929	10%	5422	\$ 8.15	\$ 44,188.49	0.020	\$ 50.00	\$ 1.00	\$ 5,421.90	\$ 49,610.39		
Sheathing															
39		3/4" Plywood Sheathing	SF	4929	10%	5422	\$ 1.12	\$ 6,072.53	0.020	\$ 50.00	\$ 1.00	\$ 5,421.90	\$ 11,494.43		
Blocking															
40		2"x4" Blocking	LF	925	10%	1018	\$ 4.65	\$ 4,731.38	0.024	\$ 50.00	\$ 1.20	\$ 1,221.00	\$ 5,952.38		
41		2"x5" Ledger W/ 1/2 Dia Thru Bolt	LF	72	10%	79	\$ 3.98	\$ 315.22	0.025	\$ 50.00	\$ 1.25	\$ 99.00	\$ 414.22		
42		2"x8" Fascia Board W/ 2-16 Nails	LF	75	10%	83	\$ 4.65	\$ 383.63	0.024	\$ 50.00	\$ 1.20	\$ 99.00	\$ 482.63		
Lumber															
43		2"x6" Wood Lumber	LF	102	10%	112	\$ 2.30	\$ 258.06	0.022	\$ 50.00	\$ 1.10	\$ 123.42	\$ 381.48		
44		2"x12" Wood Lumber	LF	25	10%	28	\$ 6.25	\$ 171.88	0.024	\$ 50.00	\$ 1.20	\$ 33.00	\$ 204.88		
Stringer															
45		2"x12" Wood Stringer	LF	420	10%	462	\$ 6.25	\$ 2,887.50	0.024	\$ 50.00	\$ 1.20	\$ 554.40	\$ 3,441.90		
Roof Framing															
46		Pre-Feb Wood Roof Trusses @ 24" O.C (By Others)	SF	6058	10%	6664	\$ -	\$ -	0.020	\$ 50.00	\$ 1.00	\$ 6,663.80	\$ 6,663.80		
47		Overhang Wood Lockouts @ 24" O.C (By Others) - 429 SF	LF	215	10%	237	\$ -	\$ -	0.015	\$ 50.00	\$ 0.75	\$ 177.38	\$ 177.38		
Bracing															
48		2"x4" Lateral Bracing @ 10' O.C	LF	427	10%	470	\$ 4.65	\$ 2,184.11	0.024	\$ 50.00	\$ 1.20	\$ 563.64	\$ 2,747.75		
49		2"x4" Brace @ 20' O.C	LF	312	10%	343	\$ 4.65	\$ 1,595.88	0.024	\$ 50.00	\$ 1.20	\$ 411.84	\$ 2,007.72		
Sheathing															
50		5/8" CDX Plywood Sheathing	SF	6058	10%	6664	\$ 1.08	\$ 7,196.90	0.020	\$ 50.00	\$ 1.00	\$ 6,663.80	\$ 13,860.70		
51		8d Nails At Edge Spacing = 6" O.C. & Field Spacing = 12" O.C.	EA	31992	0%	31992	\$ 0.50	\$ 15,996.00	0.003	\$ 50.00	\$ 0.15	\$ 4,798.80	\$ 20,794.80		
Hardware															
52		"H1A" Hurricane String Tie Simpson	EA	72	0%	72	\$ 0.85	\$ 61.20	0.025	\$ 50.00	\$ 1.25	\$ 90.00	\$ 151.20		
53		"HU26" Hanger	EA	72	0%	72	\$ 13.87	\$ 998.64	0.072	\$ 50.00	\$ 3.60	\$ 259.20	\$ 1,257.84		
54		"H10S" Simpson Strong Tie W/(8) 0.131x1-1/2" Nails on Wood Truss	EA	294	0%	294	\$ 0.85	\$ 249.90	0.025	\$ 50.00	\$ 1.25	\$ 367.50	\$ 617.40		
55		"HM9KT" Simpson Strong Tie W/(4) 1/4x1-1/2" sds on Wood Truss	EA	42	0%	42	\$ 0.85	\$ 35.70	0.025	\$ 50.00	\$ 1.25	\$ 52.50	\$ 88.20		
56		"H214" Hanger	EA	3029	0%	3029	\$ 13.87	\$ 42,012.23	0.072	\$ 50.00	\$ 3.60	\$ 10,904.40	\$ 52,916.63		
57		"ML242" Simpson Strong Tie Angle	EA	8	0%	8	\$ 17.85	\$ 142.80	0.075	\$ 50.00	\$ 3.75	\$ 30.00	\$ 172.80		
Subtotal (Wood & Plastic Composites)													\$	131,654	
													\$	44,689	
														\$	176,343

DIVISION 07- THERMAL & MOISTURE PROTECTION														
Roof														
58	A10.3	R-11 Batt Insulation	SF	6488	10%	7137	\$ 0.95	\$ 6,779.96	0.015	\$ 50.00	\$ 0.75	\$ 5,352.60	\$ 12,132.56	

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Item #	Ref. Sheet #	Item Description	Unit	Quantity	Wastage	Quantity w/ Wastage	Unit Material Cost	Total Material Cost	Unit Manhour	Hourly Wage	Unit Labor Cost	Total Labor Cost	Sub Cost	Total Trade Cost	
Subtotal (Openings)								\$ 6,780				\$ 5,353		\$ 12,133	
DIVISION 08- OPENINGS															
Doors															
59		"D01" (7'-2"x3'-4") Hollow Metal Door W/ Frame	EA	1	0%	1	\$ 785.62	\$ 785.62	2.200	\$ 50.00	\$ 110.00	\$ 110.00	\$ 895.62		
60		"D02-D16" (6'-8"x2'-10") Wooden Door W/ Frame	EA	77	0%	77	\$ 450.00	\$ 34,650.00	2.250	\$ 50.00	\$ 112.50	\$ 8,662.50	\$ 43,312.50		
61		"D05" (7'-6"x3'-2") Glaze Door W/ Aluminum Frame	EA	1	0%	1	\$ 785.62	\$ 785.62	2.200	\$ 50.00	\$ 110.00	\$ 110.00	\$ 895.62		
62		"D06" (5'-5"x3'-3") Wooden Door W/ Frame	EA	1	0%	1	\$ 785.62	\$ 785.62	2.200	\$ 50.00	\$ 110.00	\$ 110.00	\$ 895.62		
63		"D09" (6'-8"x3'-5") Wooden Door W/ Frame	EA	1	0%	1	\$ 785.62	\$ 785.62	2.200	\$ 50.00	\$ 110.00	\$ 110.00	\$ 895.62		
64		"D13" (6'-8"x4'-10") Wooden Door W/ Frame	EA	1	0%	1	\$ 785.62	\$ 785.62	2.200	\$ 50.00	\$ 110.00	\$ 110.00	\$ 895.62		
65	A10.3	Hardware's													
		Doors Hardware's	EA	82	0%	82	\$ 420.00	\$ 34,440.00	1.450	\$ 50.00	\$ 72.50	\$ 5,945.00	\$ 40,385.00		
Windows															
66			"WN1" (6'-7"x6'-0") Glass Panel - Aluminum Frame	EA	6	0%	6	\$ 668.00	\$ 4,008.00	2.320	\$ 50.00	\$ 116.00	\$ 696.00	\$ 4,704.00	
67			"WN2" (5'-10"x4'-0") Glass Panel - Aluminum Frame	EA	7	0%	7	\$ 668.00	\$ 4,676.00	2.320	\$ 50.00	\$ 116.00	\$ 812.00	\$ 5,488.00	
68			"WN3" (2'-11"x2'-0") Glass Panel - Aluminum Frame	EA	7	0%	7	\$ 560.00	\$ 3,920.00	2.000	\$ 50.00	\$ 100.00	\$ 700.00	\$ 4,620.00	
69			"WN4" (5'-11"x4'-0") Glass Panel - Aluminum Frame	EA	8	0%	8	\$ 668.00	\$ 5,344.00	2.320	\$ 50.00	\$ 116.00	\$ 928.00	\$ 6,272.00	
70			"WN5" (3'-7"x5'-0") Glass Panel - Aluminum Frame	EA	6	0%	6	\$ 560.00	\$ 3,360.00	2.000	\$ 50.00	\$ 100.00	\$ 600.00	\$ 3,960.00	
71			"WN6" (7'-10"x4'-0") Glass Panel - Aluminum Frame	EA	7	0%	7	\$ 668.00	\$ 4,676.00	2.320	\$ 50.00	\$ 116.00	\$ 812.00	\$ 5,488.00	
72			"WN7" (2'-11"x2'-0") Glass Panel - Aluminum Frame	EA	7	0%	7	\$ 350.00	\$ 2,450.00	1.500	\$ 50.00	\$ 75.00	\$ 525.00	\$ 2,975.00	
73		"WN8" (2'-0"x2'-0") Glass Panel - Aluminum Frame	EA	8	0%	8	\$ 350.00	\$ 2,800.00	1.500	\$ 50.00	\$ 75.00	\$ 600.00	\$ 3,400.00		
Subtotal (Openings)								\$ 104,252				\$ 20,831		\$ 125,083	

DIVISION 09- FINISHES														
Drywall/Framing														
Ground Floor														
Wall Type "W1" As; (64 LF, 9'-0" H)														
74		1/2" Drywall Gypsum Board	SF	1152	10%	1267	\$ 0.98	\$ 1,241.86	0.020	\$ 50.00	\$ 1.00	\$ 1,267.20	\$ 2,509.06	
75		(2"x4") Wood Studs @ 16" O.C. (49 EA, 442 LF)	SF	1152	10%	1267	\$ 1.35	\$ 1,710.72	0.017	\$ 50.00	\$ 0.85	\$ 1,077.12	\$ 2,787.84	
76		3-1/2" Fiberglass Insulation	SF	1152	10%	1267	\$ 0.88	\$ 1,115.14	0.010	\$ 50.00	\$ 0.50	\$ 633.60	\$ 1,748.74	
77		R Value 7.0 Fi-Foil Insulation Barrier	SF	1152	10%	1267	\$ 0.35	\$ 443.52	0.015	\$ 50.00	\$ 0.75	\$ 950.40	\$ 1,393.92	
78		(2"x4") Top & Bottom Plates	LF	384	10%	422	\$ 1.35	\$ 570.24	0.017	\$ 50.00	\$ 0.85	\$ 359.04	\$ 929.28	
79		Sealant (As Required)	LF	256	10%	282	\$ 0.25	\$ 70.40	0.010	\$ 50.00	\$ 0.50	\$ 140.80	\$ 211.20	
80		Wall Type "W2 Furring" As; (121 LF, 9'-0" H)												
81		1/2" Drywall Gypsum Board	SF	2178	10%	2396	\$ 0.98	\$ 2,347.88	0.020	\$ 50.00	\$ 1.00	\$ 2,395.80	\$ 4,743.68	
82		3/4" Wood Furring @16" O.C	SF	2178	10%	2396	\$ 1.15	\$ 2,755.17	0.017	\$ 50.00	\$ 0.85	\$ 2,036.43	\$ 4,791.60	
83		R-4.1 Min Insulation	SF	2178	10%	2396	\$ 0.88	\$ 2,108.30	0.010	\$ 50.00	\$ 0.50	\$ 1,197.90	\$ 3,306.20	
84		Sealant (As Required)	LF	484	10%	532	\$ 0.25	\$ 133.10	0.010	\$ 50.00	\$ 0.50	\$ 266.20	\$ 399.30	
85		Wall Type "W3" As; (22 LF, 9'-0" H)												
86		1/2" Drywall Gypsum Board	SF	396	10%	436	\$ 0.98	\$ 426.89	0.020	\$ 50.00	\$ 1.00	\$ 435.60	\$ 862.49	
87		(2"x4") Wood Studs @ 16" O.C. (18 EA, 158 LF)	SF	396	10%	436	\$ 1.35	\$ 588.60	0.017	\$ 50.00	\$ 0.85	\$ 366.12	\$ 954.72	
88		3-1/2" Fiberglass Insulation	SF	396	10%	436	\$ 0.88	\$ 383.28	0.010	\$ 50.00	\$ 0.50	\$ 218.10	\$ 591.38	
89		R Value 7.0 Fi-Foil Insulation Barrier	SF	396	10%	436	\$ 0.35	\$ 152.46	0.015	\$ 50.00	\$ 0.75	\$ 326.70	\$ 479.16	
90		(2"x4") Top & Bottom Plates	LF	66	10%	73	\$ 1.35	\$ 98.01	0.017	\$ 50.00	\$ 0.85	\$ 61.71	\$ 159.72	
91		Sealant (As Required)	LF	88	10%	97	\$ 0.25	\$ 24.20	0.010	\$ 50.00	\$ 0.50	\$ 48.40	\$ 72.60	
92		Wall Type "W4 Furring" As; (287 LF, 9'-0" H)												
93		1/2" Drywall Gypsum Board	SF	5166	10%	5683	\$ 0.98	\$ 5,568.99	0.020	\$ 50.00	\$ 1.00	\$ 5,682.60	\$ 11,251.55	
94		3/4" Wood Furring @16" O.C	SF	5166	10%	5683	\$ 1.15	\$ 6,534.99	0.017	\$ 50.00	\$ 0.85	\$ 4,830.21	\$ 11,365.20	
95		R-4.1 Min Insulation	SF	5166	10%	5683	\$ 0.88	\$ 5,000.69	0.010	\$ 50.00	\$ 0.50	\$ 2,841.30	\$ 7,841.99	
96		Sealant (As Required)	LF	1148	10%	1263	\$ 0.25	\$ 315.70	0.010	\$ 50.00	\$ 0.50	\$ 631.40	\$ 947.10	
97		Wall Type "W5 Furring" As; (46 LF, 9'-0" H)												
98		1/2" Drywall Gypsum Board	SF	1548	10%	1703	\$ 0.98	\$ 1,668.74	0.020	\$ 50.00	\$ 1.00	\$ 1,702.80	\$ 3,371.54	
99		3/4" Wood Furring @16" O.C	SF	1548	10%	1703	\$ 1.15	\$ 1,958.22	0.017	\$ 50.00	\$ 0.85	\$ 1,447.38	\$ 3,405.60	
100		R-4.1 Min Insulation	SF	1548	10%	1703	\$ 0.88	\$ 1,498.46	0.010	\$ 50.00	\$ 0.50	\$ 851.40	\$ 2,349.86	
101		Sealant (As Required)	LF	344	10%	378	\$ 0.25	\$ 94.60	0.010	\$ 50.00	\$ 0.50	\$ 189.20	\$ 283.80	
102		Wall Type "W6" As; (14 LF, 9'-0" H)												
103		5/8" Dens glass Sheathing Moisture Resistant	SF	252	10%	277	\$ 1.70	\$ 471.24	0.020	\$ 50.00	\$ 1.00	\$ 277.20	\$ 748.44	
104		(2"x4") Wood Studs @ 16" O.C. (12 EA, 104 LF)	SF	252	10%	277	\$ 1.35	\$ 374.22	0.017	\$ 50.00	\$ 0.85	\$ 235.62	\$ 609.84	
105		3-1/2" Fiberglass Insulation	SF	252	10%	277	\$ 0.88	\$ 243.94	0.010	\$ 50.00	\$ 0.50	\$ 138.60	\$ 382.54	
106		R Value 7.0 Fi-Foil Insulation Barrier	SF	252	10%	277	\$ 0.35	\$ 97.02	0.015	\$ 50.00	\$ 0.75	\$ 207.90	\$ 304.92	
107		(2"x4") Top & Bottom Plates	LF	84	10%	92	\$ 1.35	\$ 124.74	0.017	\$ 50.00	\$ 0.85	\$ 78.54	\$ 203.28	
108		Sealant (As Required)	LF	56	10%	62	\$ 0.25	\$ 15.40	0.010	\$ 50.00	\$ 0.50	\$ 30.80	\$ 46.20	
109		Wall Type "W7" As; (45 LF, 9'-0" H)												
110		1/2" Drywall Moisture Resistant Gypsum Board	SF	810	10%	891	\$ 0.98	\$ 873.18	0.020	\$ 50.00	\$ 1.00	\$ 891.00	\$ 1,764.18	
111		(2"x4") Wood Studs @ 16" O.C. (35 EA, 314 LF)	SF	405	10%	446	\$ 1.35	\$ 601.43	0.017	\$ 50.00	\$ 0.85	\$ 378.68	\$ 980.10	
112		3-1/2" Fiberglass Insulation	SF	405	10%	446	\$ 0.88	\$ 392.04	0.010	\$ 50.00	\$ 0.50	\$ 222.75	\$ 614.79	
113		3/4" Wood Furring @16" O.C	SF	405	10%	446	\$ 1.15	\$ 512.33	0.017	\$ 50.00	\$ 0.85	\$ 378.68	\$ 891.00	
114		R Value 7.0 Fi-Foil Insulation Barrier	SF	405	10%	446	\$ 0.35	\$ 155.85	0.015	\$ 50.00	\$ 0.75	\$ 334.85	\$ 490.70	
115		(2"x4") Top & Bottom Plates	LF	135	10%	149	\$ 1.35	\$ 200.48	0.017	\$ 50.00	\$ 0.85	\$ 126.23	\$ 326.70	
116		Sealant (As Required)	LF	180	10%	198	\$ 0.25	\$ 49.50	0.010	\$ 50.00	\$ 0.50	\$ 99.00	\$ 148.50	
117		Wall Type "W8" As; (26 LF, 9'-0" H)												
118		1/2" Drywall Moisture Resistant Gypsum Board	SF	234	10%	257	\$ 0.98	\$ 252.25	0.020	\$ 50.00	\$ 1.00	\$ 257.40	\$ 509.65	
119		(2"x4") Wood Studs @ 16" O.C. (21 EA, 185 LF)	SF	234	10%	257	\$ 1.35	\$ 347.49	0.017	\$ 50.00	\$ 0.85	\$ 218.79	\$ 566.28	
120		(2"x4") Top & Bottom Plates	LF	78	10%	86	\$ 1.35	\$ 115.83	0.017	\$ 50.00	\$ 0.85	\$ 72.93	\$ 188.76	
121		Sealant (As Required)	LF	52	10%	57	\$ 0.25	\$ 14.30	0.010	\$ 50.00	\$ 0.50	\$ 28.60	\$ 42.90	
122		Wall Type "W13" As; (170 LF, 9'-0" H)												
123		1/2" Drywall Moisture Resistant Gypsum Board	SF	3060	10%	3366	\$ 0.98	\$ 3,298.68	0.020	\$ 50.00	\$ 1.00	\$ 3,366.00	\$ 6,664.68	
124		(2"x4") Wood Studs @ 16" O.C. (129 EA, 1160 LF)	SF	1530	10%	1683	\$ 1.35	\$ 2,272.05	0.017	\$ 50.00	\$ 0.85	\$ 1,430.55	\$ 3,702.60	
125		(2"x4") Top & Bottom Plates	LF	510	10%	561	\$ 1.35	\$ 757.35	0.017	\$ 50.00	\$ 0.85	\$ 476.85	\$ 1,234.20	
126		Sealant (As Required)	LF	680	10%	748	\$ 0.25	\$ 187.00	0.010	\$ 50.00	\$ 0.50	\$ 374.00	\$ 561.00	
127		Wall Type "W14" As; (93 LF, 9'-0" H)												
128		1/2" Drywall Moisture Resistant Gypsum Board	SF	1674	10%	1841	\$ 0.98	\$ 1,804.57	0.020	\$ 50.00	\$ 1.00	\$ 1,841.40	\$ 3,645.97	
129		(2"x6") Wood Studs @ 16" O.C. (71 EA, 638 LF)	SF	837	10%	921	\$ 2.35	\$ 2,163.65	0.017	\$ 50.00	\$ 0.85	\$ 782.60	\$ 2,946.24	
130		(2"x6") Top & Bottom Plates	LF	279	10%	307	\$ 2.35	\$ 721.22	0.017	\$ 50.00	\$ 0.85	\$ 260.87	\$ 982.08	
131		Sealant (As Required)	LF	372	10%	409	\$ 0.25	\$ 102.30	0.010	\$ 50.00	\$ 0.50	\$ 204.60	\$ 306.90	
132		2nd Floor												
133		Wall Type "W12" As; (82 LF, 9'-0" H)												
134		5/8" Drywall Moisture Resistant Gypsum Board	SF	2214	10%	2435	\$ 0.98	\$ 2,386.69	0.020	\$ 50.00	\$ 1.00	\$ 2,435.40	\$ 4,822.09	
135		5/8" Dens glass Sheathing Moisture Resistant	SF	738	10%	812	\$ 1.70	\$ 1,380.06	0.020	\$ 50.00	\$ 1.00	\$ 811.80	\$ 2,191.86	
136		(2"x6") Wood Studs @ 16" O.C. (63 EA, 564 LF)	SF	738	10%	812	\$ 2.35	\$ 1,907.73	0.017	\$ 50.00	\$ 0.85	\$ 690.03	\$ 2,597.76	
137		3-1/2" Fiberglass Insulation	SF	2214	10%	2435	\$ 0.88	\$ 2,143.15	0.010	\$ 50.00	\$ 0.50	\$ 1,217.70	\$ 3,360.85	
138		R Value 7.0 Fi-Foil Insulation Barrier	SF	2214	10%	2435	\$ 0.35	\$ 852.39	0.015	\$ 50.00	\$ 0.75	\$ 1,826.55	\$ 2,678.94	
139		(2"x6") Top & Bottom Plates	LF	492	10%	541	\$ 2.35	\$ 1,271.82	0.017	\$ 50.00	\$ 0.85	\$ 460.02		

Building Data Summary

Project ID:	Residential - *****
Location:	Chiquita Blvd N, Cape Coral, FL 33993
Scope of Work:	Shell Construction - GC
Date:	



Item #	Ref. Sheet #	Item Description	Unit	Quantity	Wastage	Quantity w/ Wastage	Unit Material Cost	Total Material Cost	Unit Manhour	Hourly Wage	Unit Labor Cost	Total Labor Cost	Sub Cost	Total Trade Cost
148		5/8" Dens glass Sheathing Moisture Resistant	SF	684	10%	752	\$ 1.70	\$ 1,279.08	0.020	\$ 50.00	\$ 1.00	\$ 752.40	\$ 2,031.48	
149		(2"x6") Wood Studs @ 16" O.C. (58 EA, 523 LF)	SF	684	10%	752	\$ 2.35	\$ 1,768.14	0.017	\$ 50.00	\$ 0.85	\$ 639.54	\$ 2,407.68	
150		3-1/2" Fiberglass Insulation	SF	2052	10%	2257	\$ 0.88	\$ 1,986.34	0.010	\$ 50.00	\$ 0.50	\$ 1,128.60	\$ 3,114.94	
151		R Value 7.0 Fi-Foil Insulation Barrier	SF	2052	10%	2257	\$ 0.35	\$ 790.02	0.015	\$ 50.00	\$ 0.75	\$ 1,692.90	\$ 2,482.92	
152		(2"x6") Top & Bottom Plates	LF	456	10%	502	\$ 2.35	\$ 1,178.76	0.017	\$ 50.00	\$ 0.85	\$ 426.36	\$ 1,605.12	
153		Sealant (As Required)	LF	456	10%	502	\$ 0.25	\$ 125.40	0.010	\$ 50.00	\$ 0.50	\$ 250.80	\$ 376.20	
		Wall Type "W11" As; (262 LF, 9'-0" H)												
154		1/2" Drywall Moisture Resistant Gypsum Board	SF	4716	10%	5188	\$ 0.98	\$ 5,083.85	0.020	\$ 50.00	\$ 1.00	\$ 5,187.60	\$ 10,271.45	
155		(2"x6") Wood Studs @ 16" O.C. (198 EA, 1782 LF)	SF	2358	10%	2594	\$ 2.35	\$ 6,095.43	0.017	\$ 50.00	\$ 0.85	\$ 2,204.73	\$ 8,300.16	
156		(2"x6") Top & Bottom Plates	LF	786	10%	865	\$ 2.35	\$ 2,031.81	0.017	\$ 50.00	\$ 0.85	\$ 734.91	\$ 2,766.72	
157		Sealant (As Required)	LF	1048	10%	1153	\$ 0.25	\$ 288.20	0.010	\$ 50.00	\$ 0.50	\$ 576.40	\$ 864.60	
		Wall Type "W14" As; (217 LF, 9'-0" H)												
158		1/2" Drywall Moisture Resistant Gypsum Board	SF	3906	10%	4297	\$ 0.98	\$ 4,210.67	0.020	\$ 50.00	\$ 1.00	\$ 4,296.60	\$ 8,507.27	
159		(2"x6") Wood Studs @ 16" O.C. (164 EA, 1475 LF)	SF	1953	10%	2148	\$ 2.35	\$ 5,048.51	0.017	\$ 50.00	\$ 0.85	\$ 1,826.06	\$ 6,874.56	
160		(2"x6") Top & Bottom Plates	LF	651	10%	716	\$ 2.35	\$ 1,682.84	0.017	\$ 50.00	\$ 0.85	\$ 608.69	\$ 2,291.52	
161		Sealant (As Required)	LF	868	10%	955	\$ 0.25	\$ 238.70	0.010	\$ 50.00	\$ 0.50	\$ 477.40	\$ 716.10	
		Wall Type "W8" As; (39 LF, 9'-0" H)												
162		1/2" Drywall Moisture Resistant Gypsum Board	SF	351	10%	386	\$ 0.98	\$ 378.38	0.020	\$ 50.00	\$ 1.00	\$ 386.10	\$ 764.48	
163		(2"x6") Wood Studs @ 16" O.C. (30 EA, 273 LF)	SF	351	10%	386	\$ 2.35	\$ 907.34	0.017	\$ 50.00	\$ 0.85	\$ 328.19	\$ 1,235.52	
164		(2"x6") Top & Bottom Plates	LF	117	10%	129	\$ 2.35	\$ 302.45	0.017	\$ 50.00	\$ 0.85	\$ 109.40	\$ 411.84	
165		Sealant (As Required)	LF	78	10%	86	\$ 0.25	\$ 21.45	0.010	\$ 50.00	\$ 0.50	\$ 42.90	\$ 64.35	
		Wall Type "W13" As; (703 LF, 9'-0" H)												
166		1/2" Drywall Moisture Resistant Gypsum Board	SF	12654	10%	13919	\$ 0.98	\$ 13,641.01	0.020	\$ 50.00	\$ 1.00	\$ 13,919.40	\$ 27,560.41	
167		(2"x4") Wood Studs @ 16" O.C. (530 EA, 4766 LF)	SF	6327	10%	6960	\$ 1.35	\$ 9,395.60	0.017	\$ 50.00	\$ 0.85	\$ 5,915.75	\$ 15,311.34	
168		(2"x4") Top & Bottom Plates	LF	2109	10%	2320	\$ 1.35	\$ 3,131.87	0.017	\$ 50.00	\$ 0.85	\$ 1,971.92	\$ 5,103.78	
169		Sealant (As Required)	LF	2812	10%	3093	\$ 0.25	\$ 773.30	0.010	\$ 50.00	\$ 0.50	\$ 1,546.60	\$ 2,319.90	
170		Drywall Screws	EA	2805	10%	3086	\$ 0.03	\$ 92.57	0.001	\$ 50.00	\$ 0.05	\$ 154.28	\$ 246.84	
171		Tap Joints	LF	44992	10%	49491	\$ 0.02	\$ 989.82	0.010	\$ 50.00	\$ 0.50	\$ 24,745.60	\$ 25,735.42	
172		Mudding	LBs	177	10%	195	\$ 0.50	\$ 97.44	0.220	\$ 50.00	\$ 11.00	\$ 2,143.59	\$ 2,241.02	
		Ceiling												
173		1/2" Gypsum Board Ceiling -SAG Resistant W/1"x3" Wood Strips	SF	4071	10%	4478	\$ 1.10	\$ 4,925.91	0.028	\$ 50.00	\$ 1.40	\$ 6,269.34	\$ 11,195.25	
174		5/8" Smooth Fiber Cement Soffit Board -SAG Resistant	SF	751	10%	826	\$ 1.10	\$ 908.71	0.028	\$ 50.00	\$ 1.40	\$ 1,156.54	\$ 2,065.25	
		2nd Floor												
175		1/2" Gypsum Board Ceiling -SAG Resistant W/1"x3" Wood Strips	SF	4755	10%	5231	\$ 1.10	\$ 5,753.55	0.028	\$ 50.00	\$ 1.40	\$ 7,322.70	\$ 13,076.25	
176		5/8" Smooth Fiber Cement Soffit Board -SAG Resistant	SF	546	10%	601	\$ 1.10	\$ 660.66	0.028	\$ 50.00	\$ 1.40	\$ 840.84	\$ 1,501.50	
		Flooring												
177		Ceramic Tile (Color Selected By Owner)	SF	4704	10%	5174	\$ 4.58	\$ 23,698.75	0.092	\$ 50.00	\$ 4.60	\$ 23,802.24	\$ 47,500.99	
		Wall Base												
178		Wood Base White Color (Co-ordinate With Interior Design)	LF	1008	10%	1109	\$ 1.85	\$ 2,051.28	0.022	\$ 50.00	\$ 1.10	\$ 1,219.68	\$ 3,270.96	
		2nd Floor												
179		Ceramic Tile (Color Selected By Owner)	SF	1764	10%	1940	\$ 4.58	\$ 8,887.03	0.092	\$ 50.00	\$ 4.60	\$ 8,925.84	\$ 17,812.87	
180		Gray Carpet (Color Selected By Owner)	SF	3031	10%	3334	\$ 10.15	\$ 33,841.12	0.092	\$ 50.00	\$ 4.60	\$ 15,336.86	\$ 49,177.98	
		Wall Base												
181		Wood Base White Color (Co-ordinate With Interior Design)	LF	296	10%	326	\$ 1.85	\$ 602.36	0.022	\$ 50.00	\$ 1.10	\$ 358.16	\$ 960.52	
		Wall Tile												
182		Ceramic Wall Tile	SF	1176	10%	1294	\$ 4.58	\$ 5,924.69	0.092	\$ 50.00	\$ 4.60	\$ 5,950.56	\$ 11,875.25	
		2nd Floor												
183		Ceramic Wall Tile	SF	3332	10%	3665	\$ 4.58	\$ 16,786.62	0.092	\$ 50.00	\$ 4.60	\$ 16,859.92	\$ 33,646.54	
		Paint												
184		Light Gray Color Paint @ Walls (Selected By Owner)	SF	49735	10%	54709	\$ 0.82	\$ 44,860.97	0.020	\$ 50.00	\$ 1.00	\$ 54,708.50	\$ 99,569.47	
185		White Paint @ Gypsum Board Ceiling	SF	8806	10%	9687	\$ 1.37	\$ 13,270.64	0.020	\$ 50.00	\$ 1.00	\$ 9,686.60	\$ 22,957.24	
186		White Paint @ Gypsum Board Soffit	SF	506	10%	557	\$ 1.25	\$ 695.75	0.020	\$ 50.00	\$ 1.00	\$ 556.60	\$ 1,252.35	
187		Paint @ Doors W/ Frame	SF	3346	10%	3681	\$ 0.48	\$ 1,766.69	0.015	\$ 50.00	\$ 0.75	\$ 2,760.45	\$ 4,527.14	
188		Paint @ Doors Trim	LF	1156	10%	1272	\$ 0.70	\$ 890.12	0.018	\$ 50.00	\$ 0.90	\$ 1,144.44	\$ 2,034.56	
189		Paint @ Windows Trim	LF	1858	10%	2044	\$ 0.70	\$ 1,430.66	0.018	\$ 50.00	\$ 0.90	\$ 1,839.42	\$ 3,270.08	
190		Paint @ Railings	LF	30	10%	33	\$ 0.62	\$ 20.46	0.015	\$ 50.00	\$ 0.75	\$ 24.75	\$ 45.21	
		Exterior												
191		3/4" Exterior Smooth Stucco Finish With White Color	SF	3722	10%	4094	\$ 4.20	\$ 17,195.64	0.085	\$ 50.00	\$ 4.25	\$ 17,400.35	\$ 34,595.99	
192		3/4" Smooth purge Coat With Vertical Lines 12" Separation & Cementitious Finish With White Color	SF	1765	10%	1942	\$ 4.60	\$ 8,930.90	0.085	\$ 50.00	\$ 4.25	\$ 8,251.38	\$ 17,182.28	
193		3/4" Stucco Window Trim Finish With Light Black Color	LF	58	10%	64	\$ 5.25	\$ 334.95	0.085	\$ 50.00	\$ 4.25	\$ 271.15	\$ 606.10	
194		3/4" Stucco Window Trim Finish With Light Gray Color	LF	655	10%	721	\$ 5.25	\$ 3,782.63	0.085	\$ 50.00	\$ 4.25	\$ 3,062.13	\$ 6,844.75	
195		3/4" Vertical Decorative Stucco Finish With Light Gray Color	SF	39	10%	43	\$ 5.25	\$ 225.23	0.085	\$ 50.00	\$ 4.25	\$ 182.33	\$ 407.55	
196		64" Height Womanized Outdoor Wood Fence	LF	73	10%	80	\$ 2.30	\$ 184.69	0.020	\$ 50.00	\$ 1.00	\$ 80.30	\$ 264.99	
197		Façade Vents	EA	4	0%	4	\$ 17.85	\$ 71.40	0.075	\$ 65.00	\$ 4.88	\$ 19.50	\$ 90.90	
198		Building Paper (Assumed)	SF	3722	10%	4094	\$ 0.15	\$ 614.13	0.015	\$ 50.00	\$ 0.75	\$ 3,070.65	\$ 3,684.78	
199		Cliff stone Boardwalk Finish With Light Black Color	SF	156	10%	172	\$ 3.25	\$ 557.70	0.085	\$ 50.00	\$ 4.25	\$ 729.30	\$ 1,287.00	
200		Metal Lath Under Stucco (Assumed)	SF	3722	10%	4094	\$ 1.47	\$ 6,018.47	0.085	\$ 50.00	\$ 4.25	\$ 17,400.35	\$ 23,418.82	
201		Pilasters, Subdividing the Façade	LF	333	10%	366	\$ 0.60	\$ 219.78	0.015	\$ 50.00	\$ 0.75	\$ 274.73	\$ 494.51	
		Subtotal (Finishes)						\$ 392,435				\$ 380,060	\$ 772,494	

Building Data Summary

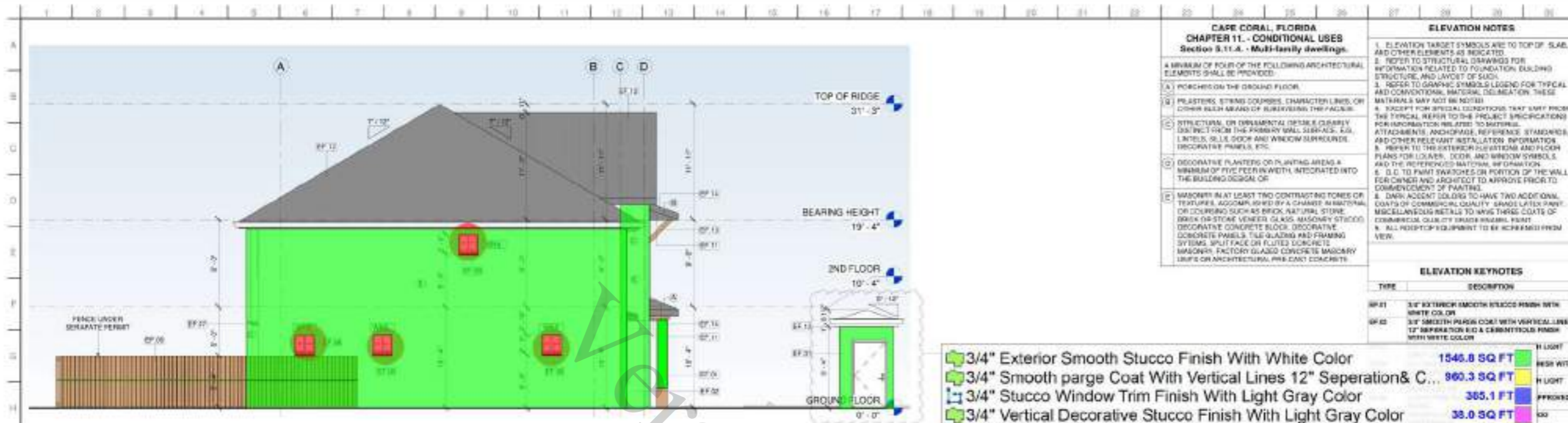
Project ID:	Residential - *****
Location:	Chiquita Blvd N, Cape Coral, FL 33993
Scope of Work:	Shell Construction - GC
Date:	



Item #	Ref. Sheet #	Item Description	Unit	Quantity	Wastage	Quantity w/ Wastage	Unit Material Cost	Total Material Cost	Unit Manhour	Hourly Wage	Unit Labor Cost	Total Labor Cost	Sub Cost	Total Trade Cost	
													PROJECTED COST	\$ 1,384,741	
													INSURANCE	3%	\$ 41,542
													CONTINGENCY	5%	\$ 69,237
													OVERHEAD AND PROFIT	15%	\$ 207,711
													TAX	6.5%	\$ 47,605.17
													SUGGESTED BID	\$ 1,750,836	

- Note:**
- Please verify the equipment's and their prices with owner.
 - Online sources are used for pricing.
 - Prices can vary depending upon field conditions.

Veracity Estimating



CAPE CORAL, FLORIDA
CHAPTER 11. - CONDITIONAL USES
Section 5.11.A - Multi-family dwellings.

A MINIMUM OF FOUR OF THE FOLLOWING ARCHITECTURAL ELEMENTS SHALL BE PROVIDED:

- (A) PORCHES ON THE GROUND FLOOR.
- (B) PILLASTERS, STAIN COLOURS, CHARACTER LINES, OR OTHER SUCH BRANDS OF SUBDIVIDING THE FACADE.
- (C) STRUCTURAL OR ORNAMENTAL DETAILS CLEARLY DISTINCT FROM THE PRIMARY WALL SURFACES, AS: LANTERNS, SILL, DOOR AND WINDOW SURROUNDS, DECORATIVE PANELS, ETC.
- (D) DECORATIVE PLANTING OR PLANTING AREAS A MINIMUM OF FIVE FEET IN WIDTH, INTEGRATED INTO THE BUILDING DESIGN OR
- (E) MASONRY IN AT LEAST TWO CONTRASTING TONES OR TEXTURES, ACCOMPLISHED BY A CHANGE IN MATERIAL OR COURSE SUCH AS BRICK, NATURAL STONE, BRICK OR STONE VENEER, GLASS, MASONRY STUCCO, DECORATIVE CONCRETE BLOCK, DECORATIVE CONCRETE PANELS, TILE GLAZING AND FRAMING BY STAIN, SPLIT FACE OR FLUTED CONCRETE, MASONRY, FACTORY GLAZED CONCRETE MASONRY UNITS OR ARCHITECTURAL PRE-CAST CONCRETE.

ELEVATION NOTES

1. ELEVATION TARGET SYMBOLS ARE TO TOP OF SLAB AND OTHER ELEMENTS AS INDICATED.
2. REFER TO STRUCTURAL DRAWINGS FOR INFORMATION RELATED TO FOUNDATION, BUILDING STRUCTURE, AND LAYOUT OF SUCH.
3. REFER TO GRAPHIC SYMBOLS LEGEND FOR TYPICAL AND CONVENTIONAL MATERIAL DELINEATION. THESE MATERIALS MAY NOT BE NOTED.
4. EXCEPT FOR SPECIAL CONDITIONS THAT DIFFER FROM THE TYPICAL, REFER TO THE PROJECT SPECIFICATIONS FOR INFORMATION RELATED TO MATERIALS, ATTACHMENTS, AND/OR FINISHES. STANDARDS, AND OTHER RELEVANT INSTALLATION INFORMATION.
5. REFER TO THE EXTERIOR ELEVATIONS AND FLOOR PLANS FOR LOCATIONS, DOOR, AND WINDOW SYMBOLS AND THE REFERENCED NATIONAL WEATHERIZATION.
6. O.D. TO PAINT SWATCHES ON PORTION OF THE WALL FOR OWNER AND ARCHITECT TO APPROVE PRIOR TO COMMENCEMENT OF PAINTING.
7. DARK ACCENT COLORS TO HAVE TWO ADDITIONAL COATS OF COMMERCIAL QUALITY BRANDED LATEX PAINT.
8. MISCELLANEOUS RETALS TO HAVE THREE COATS OF COMMERCIAL QUALITY TRADE GRADE PAINT.
9. ALL PROTECTIVE EQUIPMENT TO BE REMOVED FROM VIEW.

ELEVATION KEYNOTES

TYPE	DESCRIPTION
WP-01	3/4" EXTERIOR SMOOTH STUCCO FINISH WITH WHITE COLOR
WP-02	3/4" SMOOTH PARGE COAT WITH VERTICAL LINES 12" SEPERATION EIG & COMMITTED FINISH WITH WHITE COLOR

- 3/4" Exterior Smooth Stucco Finish With White Color 1546.8 SQ FT
- 3/4" Smooth parge Coat With Vertical Lines 12" Seperation & C... 960.3 SQ FT
- 3/4" Stucco Window Trim Finish With Light Gray Color 365.1 FT
- 3/4" Vertical Decorative Stucco Finish With Light Gray Color 38.0 SQ FT
- 3/4" Stucco Window Trim Finish With Light Black Color 57.8 FT
- Cliffstone Boardwalk Finish With Light Black Color 155.2 SQ FT
- 64" Height Wolmanized Outdoor Wood Fence 35.9 FT
- Pilasters, Subdividing the Facade 249.3 FT
- "WN5" (3'-7"x5'-0") Glass Panel - Aluminum Frame 6.0 EA
- "WN4" (5'-11"x4'-0") Glass Panel - Aluminum Frame 8.0 EA
- "WN1" (6'-7"x6'-0") Glass Panel - Aluminum Frame 6.0 EA
- "WN8" (2'-0"x2'-0") Glass Panel - Aluminum Frame 4.0 EA

1 NORTH ELEVATION
 3/10' x 1'-0'



2 WEST ELEVATION
 3/10' x 1'-0'



This seal has been digitally signed and sealed by James G. Cook, PE 12577 on 01/08/2024. Please notice of this document was not intended signed and sealed and the signature must be verified on any electronic copies.

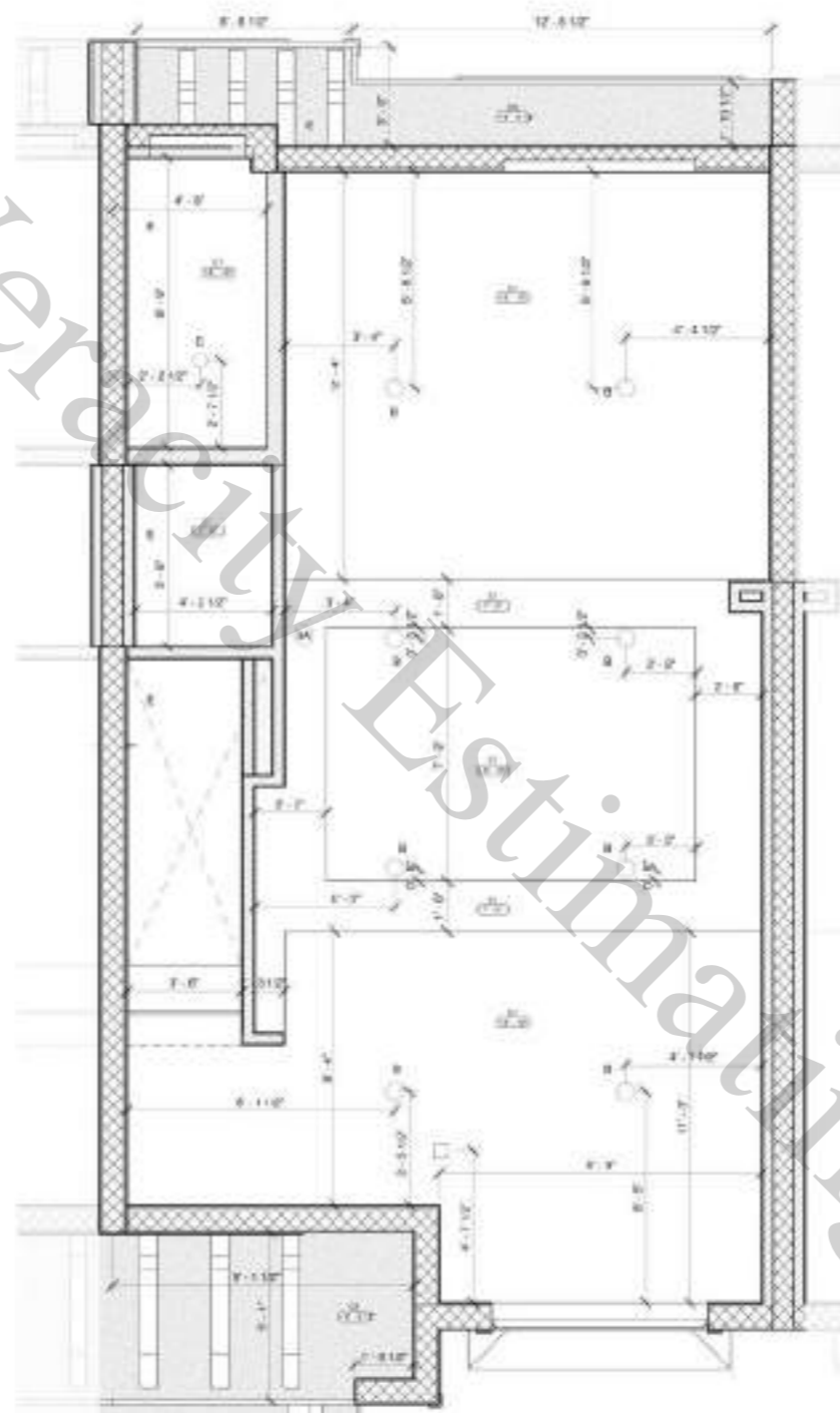
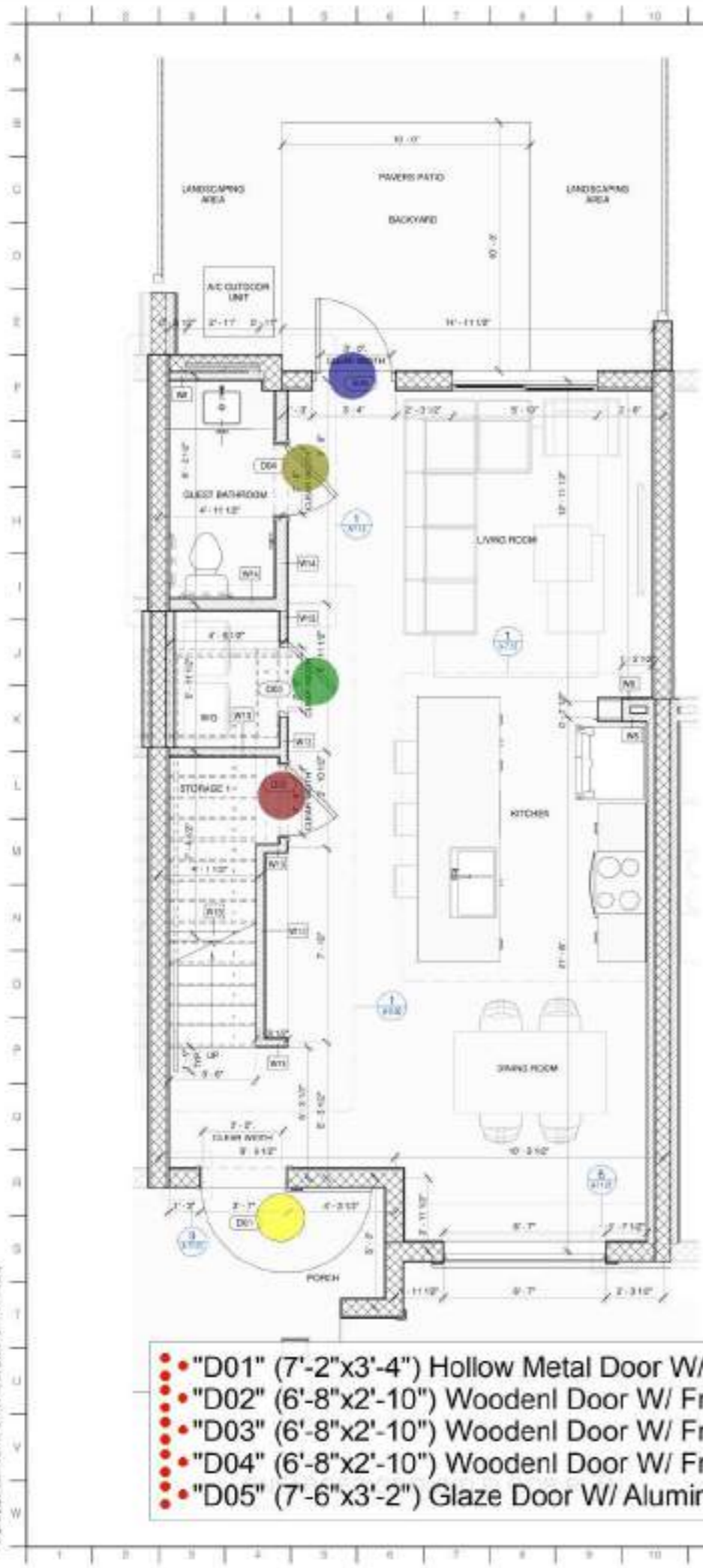
Revisions:

No.	Date	Revised description
1	03-07-2024	COMMENTS/PERSON UPDATE
2	08-08-2024	CITY COMMENTS
3	08-01-2024	CITY COMMENTS

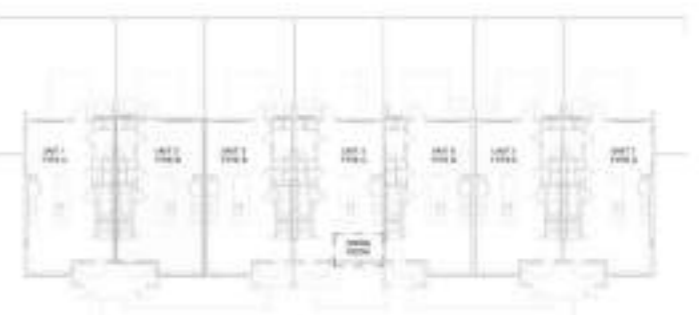
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 Issue date: 01-31-2024
 Project location: Continuation Documents / Permit Set

NORTH AND WEST ELEVATION

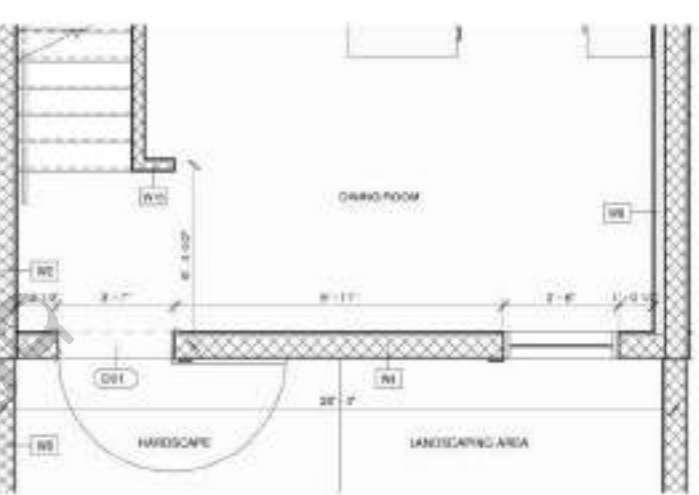
Sheet number:
A-3.00



REFLECTED CEILING PLAN LEGEND		FINISHES NOTES
TYPE	DESCRIPTION	1. ALL PAINT AND STAIN MUST ADHERE TO THE SUBSTRATE TO THE SATISFACTION OF THE CLIENT. PROVIDE MINIMUM TWO COAT COVERAGE. 2. ALL PAINT AND STAIN PRODUCTS MUST BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDED APPLICATION INSTRUCTIONS. 3. CONTRACTOR TO VERIFY ALL MEASUREMENTS, QUANTITIES AND TAKE OFFS IN THE FIELD. 4. ALL DRYWALL SURFACES TO BE FINISHED SHALL RECEIVE ONE COAT OF SELECT AND APPROVED COLOR PAINT. 5. THIS PLAN IS TO BE USED FOR BIDDING ONLY. FINAL COLOR PLAN WILL BE USED FOR FINISH WORK. 6. PAINTING CONTRACTOR IS RESPONSIBLE FOR ALL INTERIOR FINISH CALLING. 7. ALL JOINTS AND INTERIOR ANGLES HAVE TAPE, SANDED IN JOINT COMPOUND AND TWO SEPARATE COATS OF JOINT COMPOUND APPLIED OVER A FLAT JOINTS AND ONE SEPARATE COAT OF JOINT COMPOUND APPLIED OVER INTERIOR ANGLES. FASTENER HEADS AND ACCESSORIES SHALL BE COVERED WITH THREE SEPARATE COATS OF JOINT COMPOUND. ALL JOINT COMPOUND SHALL BE SMOOTH AND FREE FROM MARKS AND RIDGES. 8. WATERPROOFING SHALL BE PROVIDED AT WET AREAS. 9. FOR ADDITIONAL FIRE RATED INFORMATION OF WALL AND PARTITION REFER TO LIFE SAFETY PLANS. 10. ANY INSTALLED INSULATION PRODUCT SHALL BE FREE OF FORMALDEHYDE. 11. PROVIDE CALLING AT ALL INTERIOR NON-MOUNTING JOINTS WINDOW FRAMES, DOOR FRAMES AND THE LIKE. CLEAN ALL JOINTS AND PRIME AS REQUIRED FOR FULL ADHESION. 12. ALL GYPSUM BOARD ASSEMBLIES SHALL BE TYPED, TRIMMED AND Sanded TO PROVIDE A SMOOTH EVEN SURFACE. 13. ALL ALUMINUM COMPONENT TO BE FINISHED WITH AN IMITATE THE FINISHED FINISH AND A THE FINISHED FINISH COATING CONTAINING "NON-AR" SET RESIN OR APPROVED EQUAL, COMPLY WITH MANUFACTURER'S FINISH MANUAL, COLOUR DESIGNATIONS, AND APPLICATION RECOMMENDATIONS.
□	0.04 1/2" GYPSUM BOARD CEILING - S&D RESTART	
□	0.02 5/8" SMOOTH FIBER CEMENT SOFFIT BOARD - S&D RESTART	
□	RECESSED LIGHT FIXTURE - SATCO 3110H 4" 48 LUMENS	
□	RECESSED COOPER LIGHTING - ULTRA RIMLED DOWNLIGHT	
□	RECESSED LIGHT FIXTURE - SATCO 3110H 2" 24 LUMENS	
□	WALL MOUNTED LIGHT FIXTURE - SATCO NUVO - ARCHITECTURAL WALL SCULPTURE	
□	WALL MOUNTED LIGHT FIXTURE - SYLVANA - SCREEN CAP LAMP	
□	RECESSED LIGHT FIXTURE - LED LIGHT - CEILING FAN	
□	INSPECTION HATCH DOOR	



3 KEYPLAN DINING ROOM EXCEPTION
17'-00"



4 CONDITION AT 1ST FLOOR - UNIT TYPE 4C
18'-11"

- "D01" (7'-2"x3'-4") Hollow Metal Door W/ Frame 1.0 EA
- "D02" (6'-8"x2'-10") Wooden Door W/ Frame 1.0 EA
- "D03" (6'-8"x2'-10") Wooden Door W/ Frame 1.0 EA
- "D04" (6'-8"x2'-10") Wooden Door W/ Frame 1.0 EA
- "D05" (7'-6"x3'-2") Glaze Door W/ Aluminum Fra... 1.0 EA

2 ENLARGED GROUND FLOOR RCP
28'-1"

4 CONDITION AT 1ST FLOOR - UNIT TYPE 4C
18'-11"



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Revision	No.	Date	Revised description
1	03-20-2024	COMMENTS/DESIGN UPDATE	

Scale: As Noted
Project Number: 20-000
Issue Date: 01-31-2024
Project Location: Celebration, FL
Contract Documents: Permit Set

Drawing Title: TOWNHOME ENLARGEMENTS GROUND FLOOR

Sheet Number: A-7.00



GROUND FLOOR PLAN
3/10/24 - 1:00'

W5	49.0 FT
W4	306.2 FT
W7	44.7 FT
W5.1	37.4 FT
W6	16.0 FT
W6.6	2.2 FT
W1	63.5 FT
W3	21.2 FT
W2	100.9 FT
W13	99.5 FT
W14	92.3 FT
W8	25.4 FT
Area	5929.3 SQ FT



Seal
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Revisions:

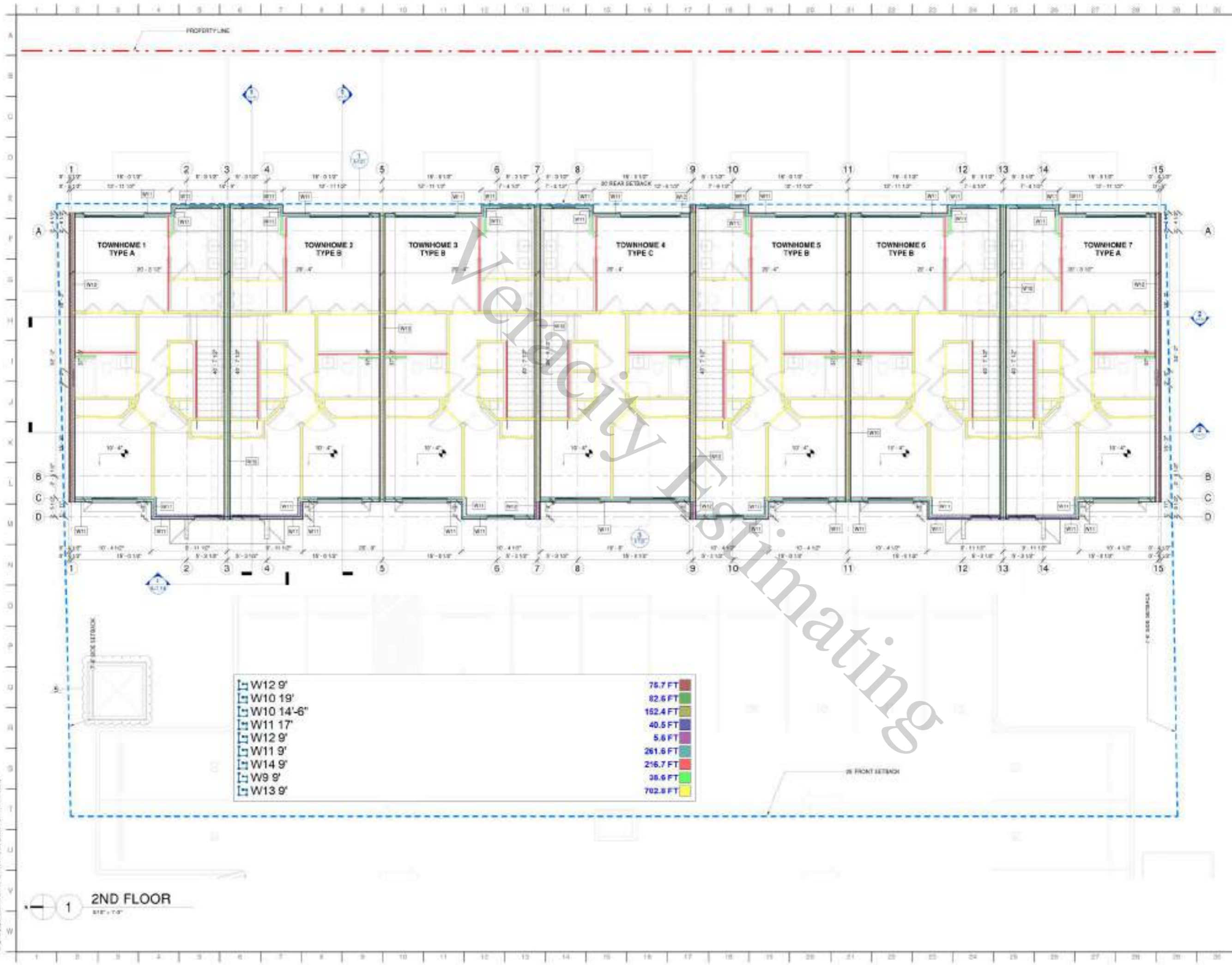
No.	Date	Revised description
1	03-27-2024	COMMENTS/DESIGN UPDATE
2	08-01-2024	CITY COMMENTS

Scale: As Shown
Project number: 24-000
Date: 01-31-2024
Project name: Condominium Documents / Permit Set

Drawing title:

GROUND FLOOR PLAN

Sheet number:
A-2.00



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 Professional Engineers website at www.fbe.org

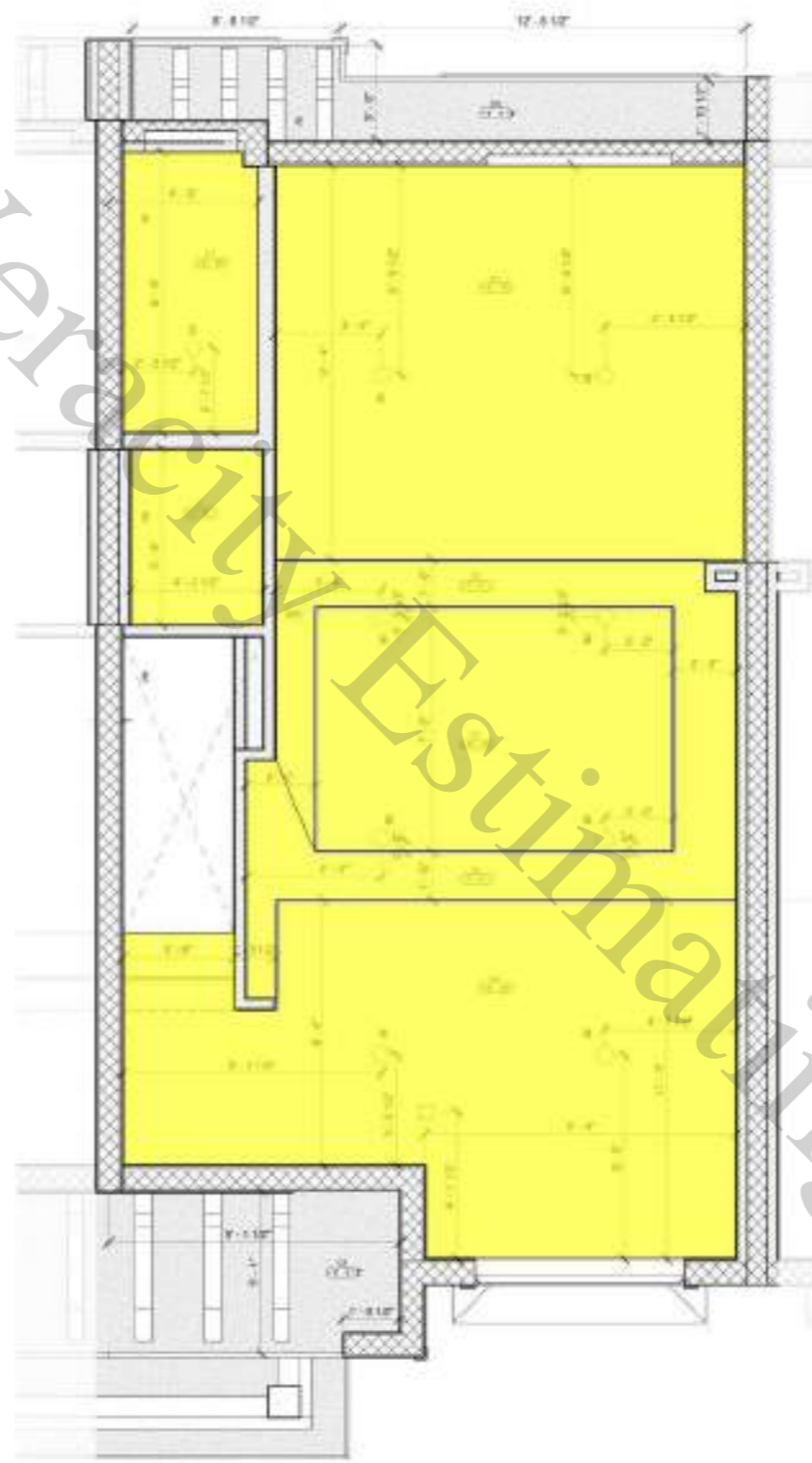
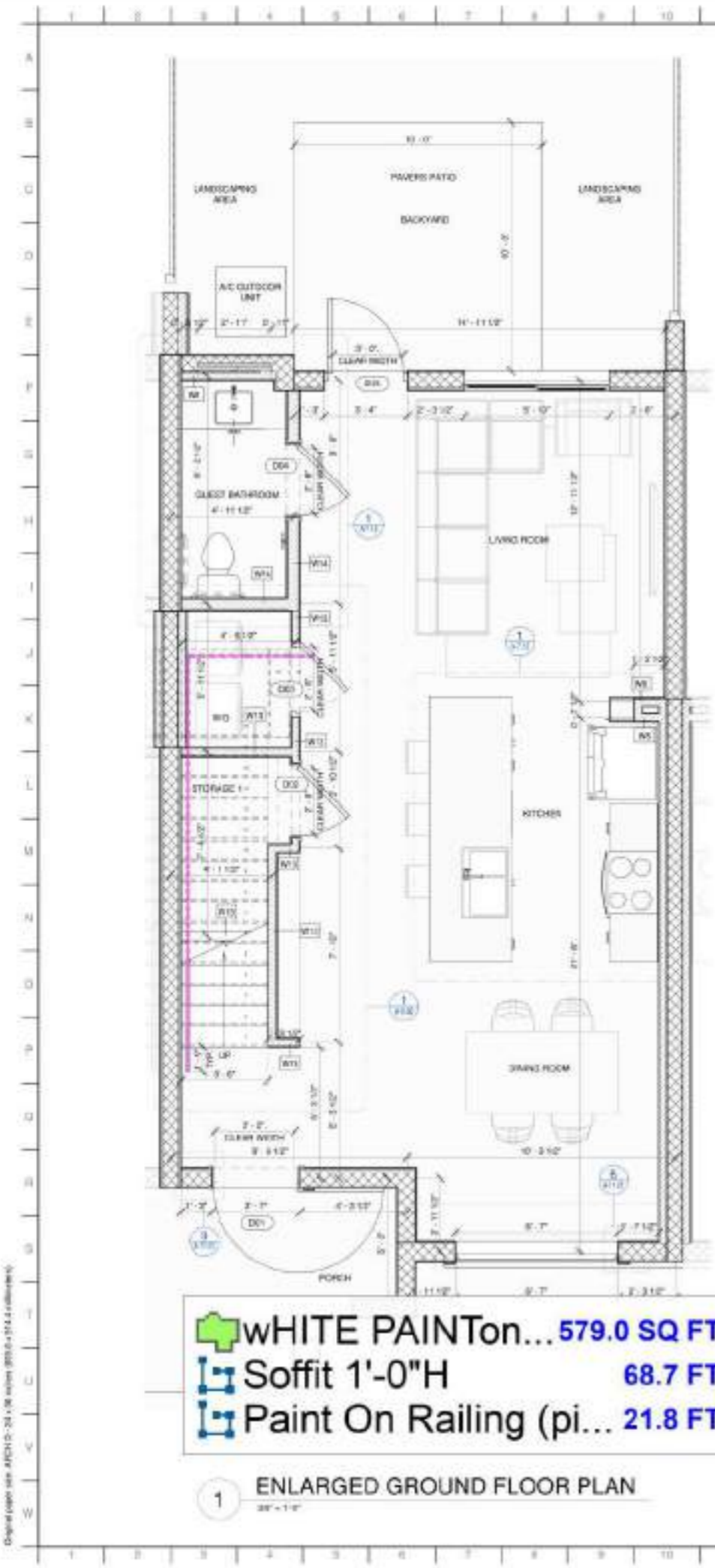
Revisions:

No.	Date	Revised description
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2	08-01-2024	CITY COMMENTS

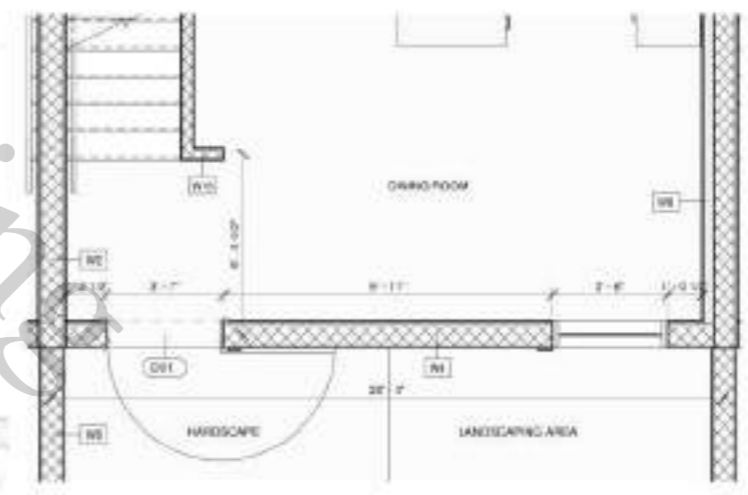
Scale: As Shown
 Project number: 20-040
 Issue date: 01-31-2024
 Project location: Celebration, FL
 Consultant: Jam Carico Asdc, PE
 Consultant: Jam Carico Asdc, PE

Drawing title:
SECOND FLOOR PLAN
 Sheet number:
A-2.10

Original design with ARCHICAD 24 - 1/8" = 1'-0" scale (2024-01-31-2024)



REFLECTED CEILING PLAN LEGEND		FINISHES NOTES
TYPE	DESCRIPTION	1. ALL PAINT AND STAIN MUST ADHERE TO THE SUBSTRATE TO THE SATISFACTION OF THE CLIENT. PROVIDE MINIMUM TWO COAT COVERAGE. 2. ALL PAINT AND STAIN PRODUCTS MUST BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDED APPLICATION INSTRUCTIONS. 3. CONTRACTOR TO VERIFY ALL MEASUREMENTS, QUANTITIES AND TAKE OFFS IN THE FIELD. 4. ALL DRYWALL SURFACES TO BE FINISHED SHALL RECEIVE ONE COAT OF SELECT AND APPROVED COLOR PAINT. 5. THIS PLAN IS TO BE USED FOR BIDDING ONLY. FINAL COLOR PLAN WILL BE USED FOR FINISH WORK. 6. PAINTING CONTRACTOR IS RESPONSIBLE FOR ALL INTERIOR FINISH CALLING. 7. ALL JOINTS AND INTERIOR ANGLES HAVE TAPE, SCHEDULED IN JOINT COMPOUND AND TWO SEPARATE COATS OF JOINT COMPOUND APPLIED OVER A FLAT JOINTS AND ONE SEPARATE COAT OF JOINT COMPOUND APPLIED OVER INTERIOR ANGLES. FASTENER HEADS AND ACCESSORIES SHALL BE COVERED WITH THREE SEPARATE COATS OF JOINT COMPOUND. ALL JOINT COMPOUND SHALL BE SMOOTH AND FREE FROM MARKS AND RIDGES. 8. WEATHERPROOFING SHALL BE PROVIDED AT ALL AREAS. 9. FOR ADDITIONAL FIRE RATED INFORMATION OF WALL AND PARTITIONS REFER TO LIFE SAFETY PLANS. 10. ANY INSTALLED INSULATION PRODUCT SHALL BE FREE OF FORMALDEHYDE. 11. PROVIDE CALLING AT ALL INTERIOR NON-MOUNTING JOINTS WINDOW FRAMES, DOOR FRAMES AND THE LIKE. CLEAN ALL JOINTS AND PRIME AS NEEDED FOR FULL ADHESION. 12. ALL GYPSUM BOARD ASSEMBLIES SHALL BE TYPED, TRIMMED, AND Sanded TO PROVIDE A SMOOTH EVEN SURFACE. 13. ALL ALUMINUM COMPONENT TO BE FINISHED WITH AN IMITATE THE FINISHED FINISH AND A FINISHED COATED FLUOROCARBON COATING CONTAINING "NON-AR" NOT RESIN OR APPROVED POLYESTER WITH MAXIMUM METAL FINISHES MANUAL TOOL FINISH DESIGNATIONS AND APPLICATION RECOMMENDATIONS.
□	0.04 1/2" GYPSUM BOARD CEILING - S&D RESTART	
□	0.02 5/8" SMOOTH FIBER CEMENT SOFFIT BOARD - S&D RESTART	
□	RECESSED LIGHT FIXTURE - SATCO 31-104 4" x 4" x 1.5"	
□	RECESSED COOPER LIGHTING - ULTRA RIMLED DOWNLIGHT	
□	RECESSED LIGHT FIXTURE - SATCO 31-104 4" x 4" x 1.5" DAMP LOCATION	
□	WALL MOUNTED LIGHT FIXTURE - SATCO NUVO - ARCHITECTURAL WALL SCENE	
□	WALL MOUNTED LIGHT FIXTURE - SYLVANA - SCREW CAP LAMP	
□	RECESSED LIGHT FIXTURE - LED LIGHT - CEILING FAN	
□	INSPECTION HATCH DOOR	
FOR ADDITIONAL INFORMATION SEE MECHANICAL, ELECTRICAL, AND FIRE PROTECTION DRAWINGS. NOTE: CONTRACTOR TO FOLLOW MANUFACTURER RECOMMENDATIONS, SPECIFICATIONS AND OR SHOP DRAWINGS TO ASSURE THE APPROPRIATE INSTALLATION OF CEILING AND THEIR COMPONENTS. ADDITIONALLY CORROSION RESISTANT MEASUREMENTS OF THE PROPOSED MATERIALS AND PROPOSED LOCATION.		



Stamp: TOWNHOME ENLARGEMENTS GROUND FLOOR

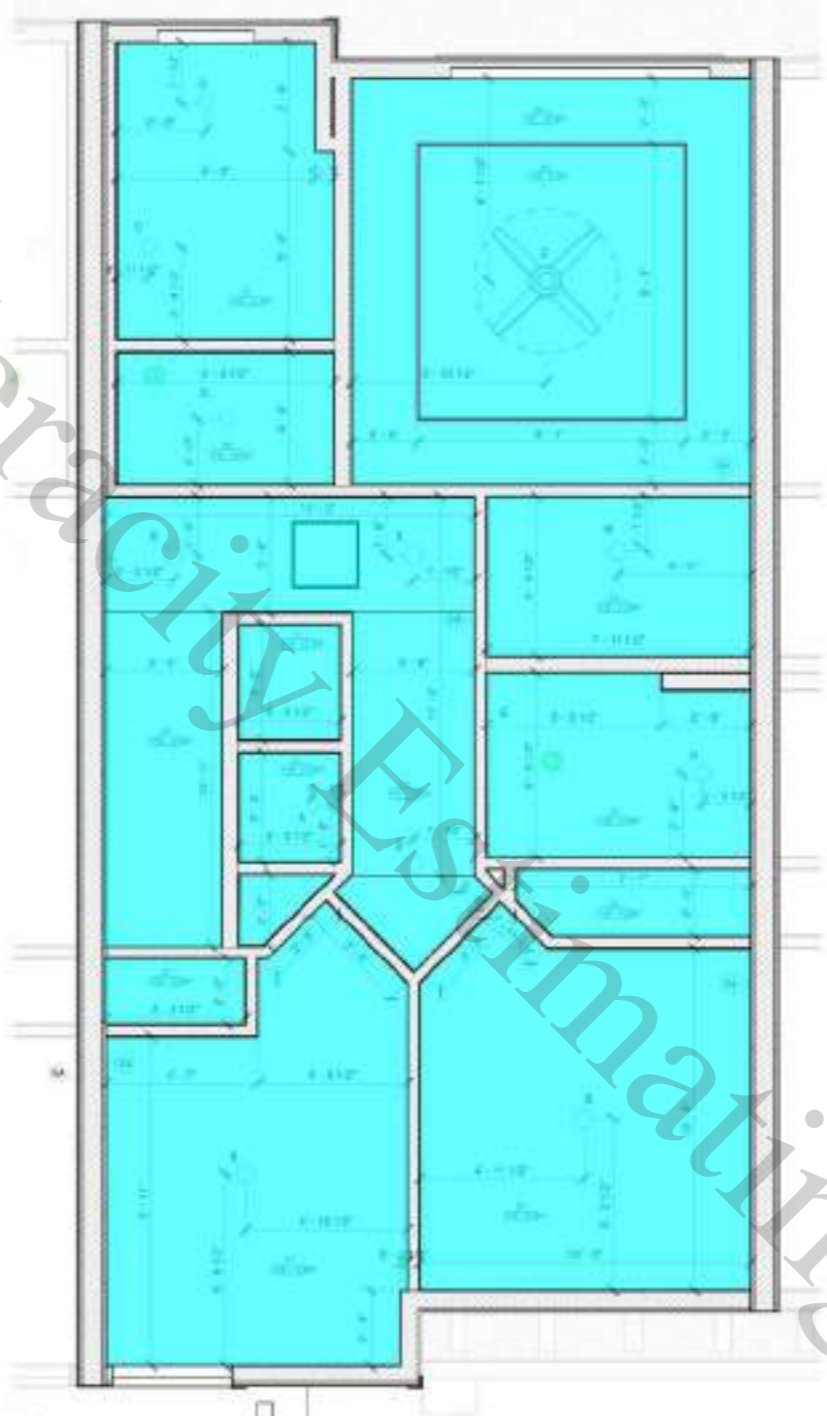
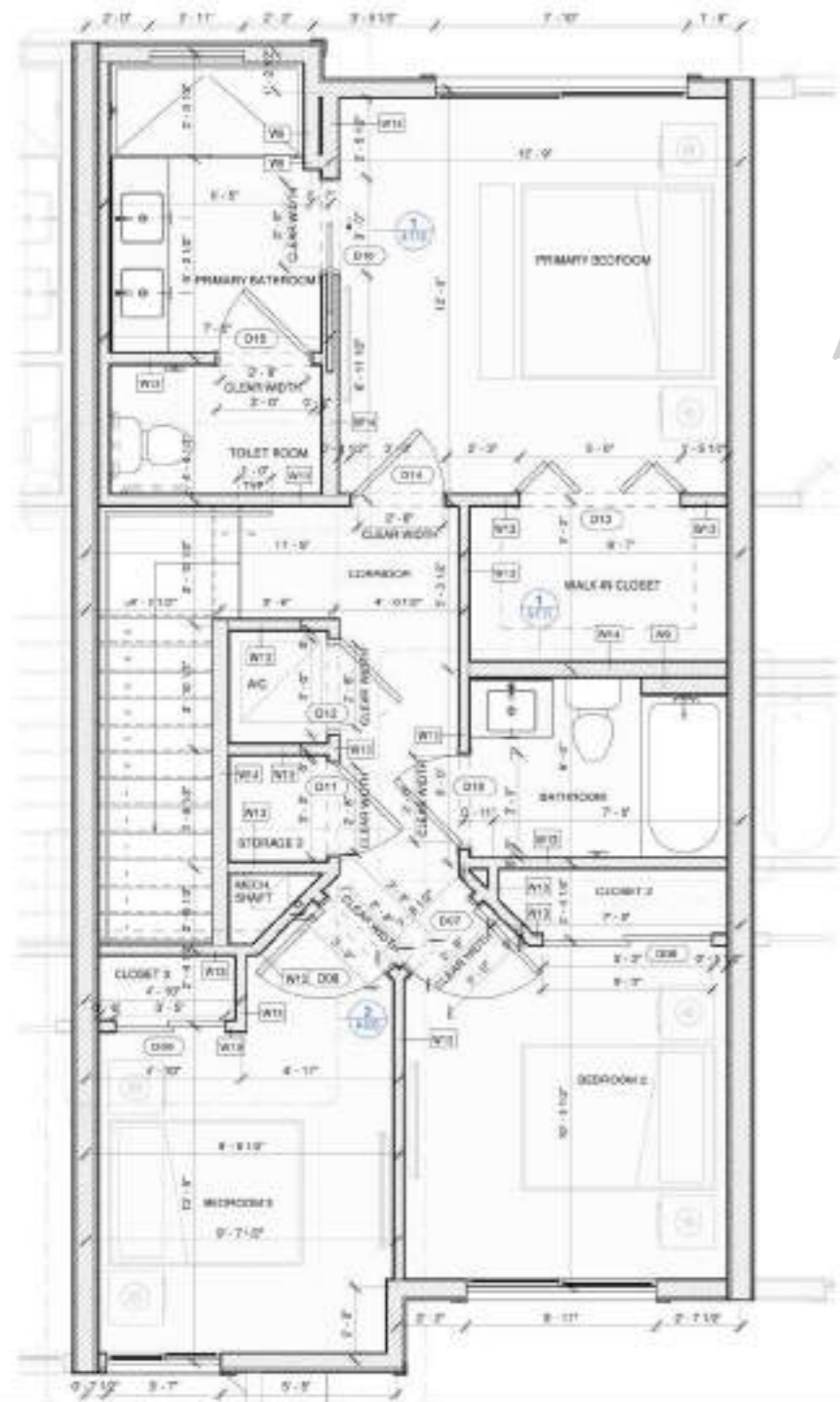
Scale: As Noted
Project Number: 20-440
Issue Date: 01-31-2024
Project Location: Condo Unit 4C, Unit Type 4C

Revision:

No.	Date	Revised Description
1	03-27-2024	COMMENTS/DESIGN UPDATE

Drawing Title: TOWNHOME ENLARGEMENTS GROUND FLOOR

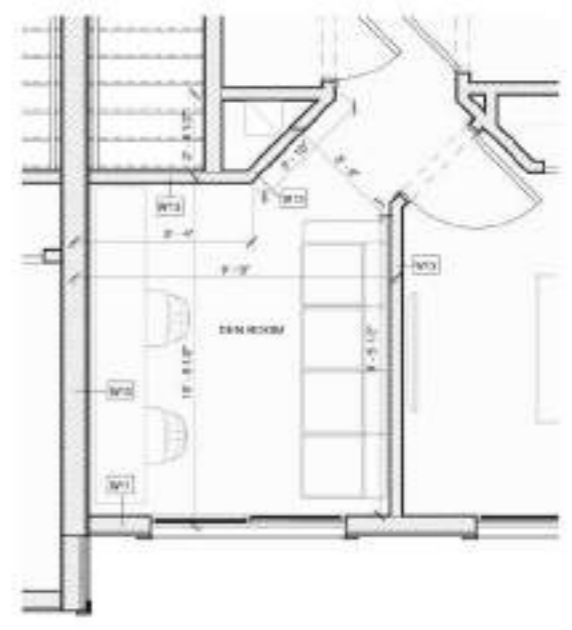
Sheet Number: A-7.00



REFLECTED CEILING PLAN LEGEND		FINISHES NOTES
TYPE	DESCRIPTION	1. ALL PAINT AND STAIN MUST ADHERE TO THE SUBSTRATE TO THE CLEAN, PROPERLY PREPARED SURFACE. PROVIDE MINIMUM TWO COAT COVERAGE. 2. ALL PAINT AND STAIN PRODUCTS MUST BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDED APPLICATION INSTRUCTIONS. 3. CONTRACTOR TO VERIFY ALL MEASUREMENTS, QUANTITIES AND TAKE OFFS IN THE FIELD. 4. ALL DRYWALL SURFACES TO BE FINISHED SHALL RECEIVE ONE COAT OF SELECT AND APPROVED COLOR PAINT. 5. THIS PLAN IS TO BE USED FOR BIDDING ONLY. FINAL COLOR PLAN WILL BE USED FOR FINISH WORK. 6. PAINTING CONTRACTOR IS RESPONSIBLE FOR ALL INTERIOR PRIME PAINTING. 7. ALL JOINTS AND INTERIOR ANGLES MUST BE TAPE, Sanded IN JOINT COMPOUND AND TWO SEPARATE COATS OF JOINT COMPOUND APPLIED OVER A FLAT JOINTS AND ONE SEPARATE COAT OF JOINT COMPOUND APPLIED OVER INTERIOR ANGLES. FASTENER HEADS AND ACCESSORIES SHALL BE COVERED WITH THREE SEPARATE COATS OF JOINT COMPOUND. ALL JOINT COMPOUND SHALL BE SMOOTH AND FREE FROM MARKS AND RIDGES. 8. WATERPROOFING SHALL BE PROVIDED AT WET AREAS. 9. FOR ADDITIONAL FIRE RATED INFORMATION OF WALL AND PARTITION REFER TO LIFE SAFETY PLAN. 10. ANY INSTALLED INSULATION PRODUCT SHALL BE FREE OF FORMALDEHYDE. 11. PROVIDE CALLING AT ALL INTERIOR NON-MOUNTING JOINTS WINDOW FRAMES, DOOR FRAMES AND THE LIKE. CLEAN ALL JOINTS AND PRIME AS NEEDED FOR FULL ADHESION. 12. ALL GYPSUM BOARD ASSEMBLIES SHALL BE TYPED, TROWELLED AND Sanded TO PROVIDE A SMOOTH EVEN SURFACE. 13. ALL ALUMINUM COMPONENT TO BE FINISHED WITH AN INHERENT THE RMO-CURED PRIMER AND A THERMO-CURED FLUOROCARBON COATING CONTAINING TOWAMER 807 RESIN OR APPROVED EQUAL, COMPLY WITH MARIANA METAL FINISHES MANUAL, TOOL FINISH DESIGNATIONS, AND APPLICATION RECOMMENDATIONS.
□	0.04 1/2" GYPSUM BOARD CEILING - S&D RESTART	
□	0.02 5/8" SMOOTH FIBERCEMENT SOFFIT BOARD - S&D RESTART	
□	RECESSED LIGHT FIXTURE - SATCO 31" Hx 4" 48" LUMENS	
□	RECESSED COOPER LIGHTING - ULTRA ROUNDED DOWNLIGHT	
□	RECESSED LIGHT FIXTURE - SATCO 51" Hx 13" 24" LAMP LOCATION	
□	WALL MOUNTED LIGHT FIXTURE - SATCO NUVO - ARCHITECTURAL WALL SCENE	
□	WALL MOUNTED LIGHT FIXTURE - SYLVANA - SCREEN CAP LAMP	
□	RECESSED LIGHT FIXTURE - LED LIGHT - CEILING FAN	
□	INSPECTION HATCH DOOR	



4 KEYPLAN DEN EXCEPTION
1" = 20'



WHITE PAINT on Ceiling **677.3 SQ FT**

 8" H Soffit **32.8 FT**

1 ENLARGED SECOND FLOOR PLAN
3/8" = 1'-0"

2 ENLARGED SECOND FLOOR RCP
3/8" = 1'-0"

3 CONDITION AT 2ND FLOOR - UNIT TYPE 4C
3/8" = 1'-0"



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 electronic signature and seal, visit the website
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Revisions		
No.	Date	Revised description
1	03-27-2024	COMMENTS/DESIGN UPDATE

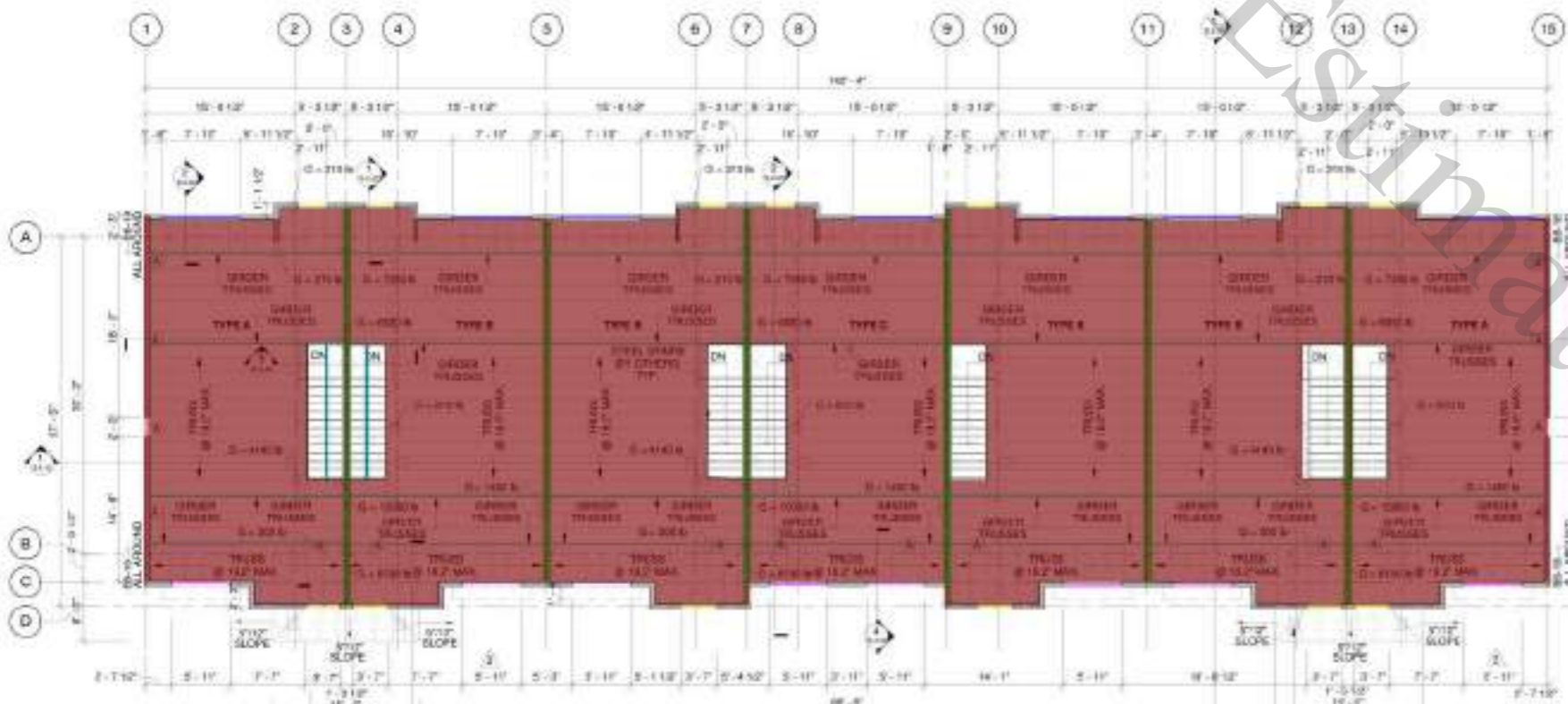
Scale: As Noted
 Project Number: 20-440
 Issue Date: 01-31-2024
 Project Location: Celebration, FL
 Consultant: JACOBS
 Consultant License: PE 12575

Drawing Title:
**TOWNHOME ENLARGEMENTS
 SECOND FLOOR**

Sheet Number:
A-7.01



1 FIRST FLOOR/FOUNDATION PLAN
Scale: 1/8" = 1'-0"



2 SECOND FLOOR PLAN
Scale: 1/8" = 1'-0"

- (18"x18") Concrete Footing
- (18"x18") Concrete Footing
- (24"x18") Concrete Footing
- (30"x30"x18") Pad Footing
- (8"x18") Thickened
- 8" Thick Concrete pad
- 4" Concrete Slab
- Thickened edge Slab
- 12"x12" Wood Column 10'H
- 8" Bod Beam
- Concrete Lintel
- 2x8 Header
- 2x12 Header
- 2x12 Header
- Girder Trusses
- Pre-Engineered Wood Floor Trusses @ 19.2" O.C
- 2x4 Blocking
- 2x Wood Stringer
- 2x Wood Stringer

219.1 FT	
141.2 FT	
272.8 FT	
4.0 EA	
309.3 FT	
635.8 SQ FT	
5324.8 SQ FT	
714.1 FT	
4.0 EA	
308.4 FT	
119.1 FT	
89.9 FT	
168.0 FT	
96.0 FT	
554.3 FT	
4928.9 SQ FT	
924.2 FT	
NAN FT	
336.0 FT	

GENERAL NOTES:

- FOR GENERAL STRUCTURAL NOTES SEE SHEET S-0.00.
- FOR ADDITIONAL DIMENSIONS SEE ARCHITECTURAL DRAWINGS.
- CONCRETE SLAB DEPRESSIONS, GROUNDS WITH ARCHITECTURAL AND MECHANICAL STRAINS.
- SEE ARCHITECTURAL DRAWINGS FOR ALL WALL LOCATIONS.

NOTES

- WIND/DOOR PRECAST LINTEL (SEE S-0.00)
- 1" DIA/1' LONG TOP TRANSFER BAR @ 12" O.C. WITH STD 90° KID HOOK
- 1" DIA/8' LONG TOP TRANSFER BAR @ 12" O.C.
- 1" DIA/1' LONG TOP TRANSFER BAR @ 12" O.C.
- 1" DIA/3' LONG TOP TRANSFER BAR @ 12" O.C.

LEGEND

	8" LOAD BEARING CMU/WALL W/ #5 @ 24" O.C. PARTIAL GROUT AND 3 GALV LADDER TYPE HOPE REIN/16" O.C.
	WOOD WALL W/ 2x6 @ 16" O.C. No. 2
	GRADE SOUTHERN PINE STUDS
	WOOD WALL W/ 2x6 @ 12" O.C. No. 2
	GRADE SOUTHERN PINE STUDS
	4" CONCRETE SLAB ON GRADE
	CONCRETE GRADE BEAM OR SPREAD FOOTING
	CONCRETE FOOTING
	DENOTES 1/4"x1/4"x1/4" DIAGONAL CRACK CONTROL BARS PLACED AT THE UPPER THIRD OF THE SLAB AT ALL RE-ENTRANT CORNERS & AS SHOWN, TYP. SEE DETAIL 113-4.00.
	12
	12"x12" WOOD COLUMN (C)
	TRUSS & GIRDER TRUSS



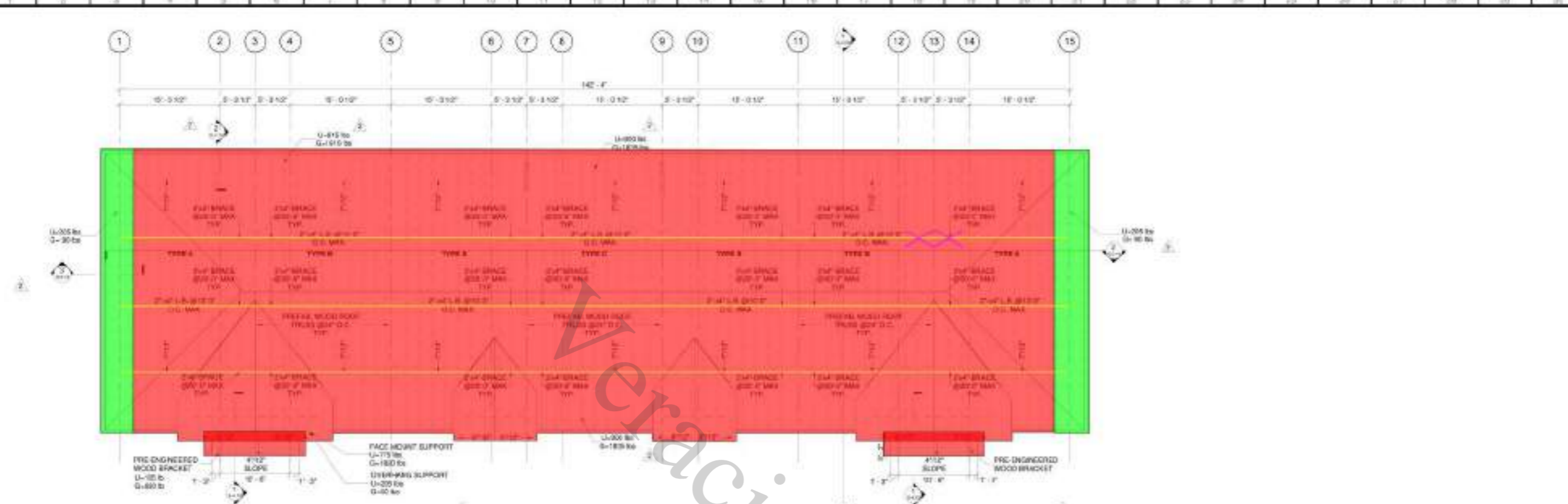
Scale: As Noted
Project Number: 20-436
Issue Date: 01-31-2024
Project Location: Cantonment, Florida

No.	Date	Revision description
1	01-31-2024	COMMENTS/DESIGN UPDATE
2	04-19-2024	COMMENTS/DESIGN UPDATE
3	08-29-2024	COMMENTS/DESIGN UPDATE

Scale: As Noted
Project Number: 20-436
Issue Date: 01-31-2024
Project Location: Cantonment, Florida

FIRST/FOUNDATION & SECOND FLOOR PLAN

Sheet Number:
S-1.00



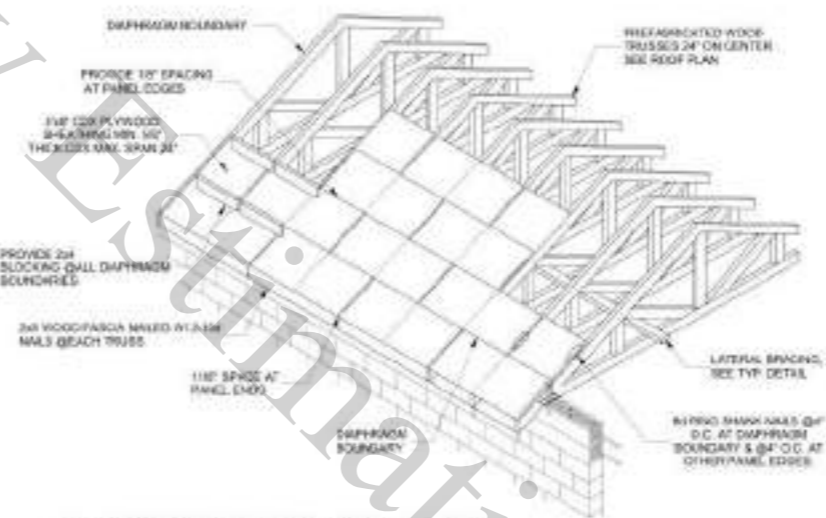
1 ROOF PLAN
Scale: 1/8" = 1'-0"

	Prefab Wood Roof Trusses @ 24" O.C.	6057.8 SQ FT
	Overhang Wood Lockouts @ 24" O.C.	428.2 SQ FT
	2"x4" Lateral Bracing @ 10' O.C.	426.4 FT
	2"x4" Brace @ 20' O.C x12	26.0 FT

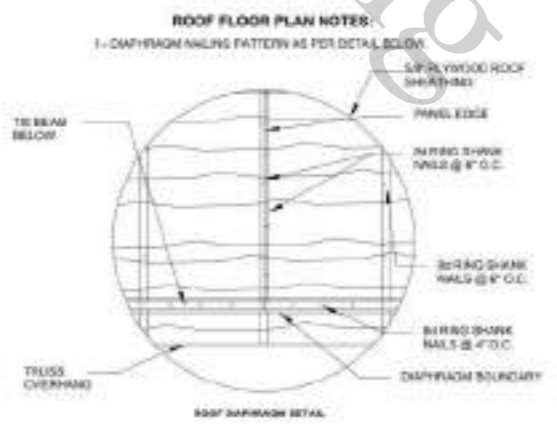
2 COMPONENTS & CLADDING-ROOF DIAGRAM
Scale: 3/32" = 1'-0"

Zone	Effective Wind Area (F ₂)	Case 1	Case 2
1	14	0.00	86.23
1	33	0.00	46.74
1	53	0.00	34.81
1	108	0.00	25.34
2a	14	0.00	86.23
2a	20	0.00	46.74
2a	30	0.00	34.81
2a	100	0.00	25.34
2b	14	0.00	86.23
2b	20	0.00	46.74
2b	30	0.00	34.81
2b	100	0.00	25.34
2c	14	0.00	86.23
2c	20	0.00	46.74
2c	30	0.00	34.81
2c	100	0.00	25.34
2d	14	0.00	86.23
2d	20	0.00	46.74
2d	30	0.00	34.81
2d	100	0.00	25.34
2e	14	0.00	86.23
2e	20	0.00	46.74
2e	30	0.00	34.81
2e	100	0.00	25.34
2f	14	0.00	86.23
2f	20	0.00	46.74
2f	30	0.00	34.81
2f	100	0.00	25.34
2g	14	0.00	86.23
2g	20	0.00	46.74
2g	30	0.00	34.81
2g	100	0.00	25.34
2h	14	0.00	86.23
2h	20	0.00	46.74
2h	30	0.00	34.81
2h	100	0.00	25.34
2i	14	0.00	86.23
2i	20	0.00	46.74
2i	30	0.00	34.81
2i	100	0.00	25.34
2j	14	0.00	86.23
2j	20	0.00	46.74
2j	30	0.00	34.81
2j	100	0.00	25.34
2k	14	0.00	86.23
2k	20	0.00	46.74
2k	30	0.00	34.81
2k	100	0.00	25.34
2l	14	0.00	86.23
2l	20	0.00	46.74
2l	30	0.00	34.81
2l	100	0.00	25.34
2m	14	0.00	86.23
2m	20	0.00	46.74
2m	30	0.00	34.81
2m	100	0.00	25.34
2n	14	0.00	86.23
2n	20	0.00	46.74
2n	30	0.00	34.81
2n	100	0.00	25.34
2o	14	0.00	86.23
2o	20	0.00	46.74
2o	30	0.00	34.81
2o	100	0.00	25.34

Zone	Effective Wind Area (F ₁₂)	Case 1	Case 2
1	14	31.06	86.09
1	33	28.38	46.73
1	53	23.68	37.06
1	100	20.12	29.00
2a	14	31.06	86.09
2a	20	28.38	46.73
2a	30	23.68	37.06
2a	100	20.12	29.00
2b	14	31.06	86.09
2b	20	28.38	46.73
2b	30	23.68	37.06
2b	100	20.12	29.00
2c	14	31.06	86.09
2c	20	28.38	46.73
2c	30	23.68	37.06
2c	100	20.12	29.00
2d	14	31.06	86.09
2d	20	28.38	46.73
2d	30	23.68	37.06
2d	100	20.12	29.00
2e	14	31.06	86.09
2e	20	28.38	46.73
2e	30	23.68	37.06
2e	100	20.12	29.00
2f	14	31.06	86.09
2f	20	28.38	46.73
2f	30	23.68	37.06
2f	100	20.12	29.00
2g	14	31.06	86.09
2g	20	28.38	46.73
2g	30	23.68	37.06
2g	100	20.12	29.00
2h	14	31.06	86.09
2h	20	28.38	46.73
2h	30	23.68	37.06
2h	100	20.12	29.00
2i	14	31.06	86.09
2i	20	28.38	46.73
2i	30	23.68	37.06
2i	100	20.12	29.00
2j	14	31.06	86.09
2j	20	28.38	46.73
2j	30	23.68	37.06
2j	100	20.12	29.00
2k	14	31.06	86.09
2k	20	28.38	46.73
2k	30	23.68	37.06
2k	100	20.12	29.00
2l	14	31.06	86.09
2l	20	28.38	46.73
2l	30	23.68	37.06
2l	100	20.12	29.00
2m	14	31.06	86.09
2m	20	28.38	46.73
2m	30	23.68	37.06
2m	100	20.12	29.00
2n	14	31.06	86.09
2n	20	28.38	46.73
2n	30	23.68	37.06
2n	100	20.12	29.00
2o	14	31.06	86.09
2o	20	28.38	46.73
2o	30	23.68	37.06
2o	100	20.12	29.00



3 PLYWOOD NAILING DETAIL
Scale: 1 1/2" = 1'-0"



GENERAL NOTES:

- FOR GENERAL STRUCTURAL NOTES SEE SHEET S-0.01.
- FOR ADDITIONAL DIMENSIONS SEE ARCHITECTURAL DRAWINGS.
- COORDINATE SLAB OPENINGS WITH ARCHITECTURAL AND MECHANICAL DRAWINGS.
- SEE ARCHITECTURAL DRAWINGS FOR ALL WALL LOCATIONS.

TYP. ROOF FRAMING NOTES:

ROOF SHEATHING
ROOFING TO BE 1/2" O.C. PLYWOOD SHEATHING (USE SAME) WITH 10 D RING SHANK NAILS @ 4" O.C. AT DIAPHRAGM BOUNDARY & @ 4" O.C. AT OTHER PANEL EDGES. SHEATHING PANEL JOINTS SHALL OCCUR OVER TRUSSES. SHEATHING PANELS SHALL BE INSTALLED WITH JOINTS STAGGERED AND PARALLEL TO TRUSSES IN ACCORDANCE WITH SECTION 05123.1.

ROOF SYSTEM
PREENGINEERED WOOD ROOF TRUSS (JEK) SHALL BE DESIGNED BY THE MANUFACTURER IN ACCORDANCE WITH SPECIFIED LOADS (SEE O.C.R. AND COVERING CODES). SUBMITTALS SHALL INCLUDE TRUSS FRAMING PLANS AND DETAILS SHOWING MEMBER SIZES, BRACING ANCHORAGE, CONNECTIONS, TRUSS LOCATIONS AND TEMPORARY AND PERMANENT BRACING AND/OR BRACING AS REQUIRED FOR ERECTION AND FOR PERMANENT STRUCTURE. EACH SUBMITTAL SHALL BE SEEN AND SEALED BY A FLORIDA REGISTERED STRUCTURAL ENGINEER.

NOTES:

- ROOF JOIST / TRUSS MANUFACTURER SHALL COORDINATE LOCATIONS OF ALL MECHANICAL CHANGES AND PLUMBING TO AVOID CONFLICT.
- ALL JOIST / JOIST OR TRUSS TO TRUSS CONNECTIONS SHALL BE SPECIFIED BY THE MANUFACTURER.

LEGEND

- PREFAB. WOOD ROOF TRUSS



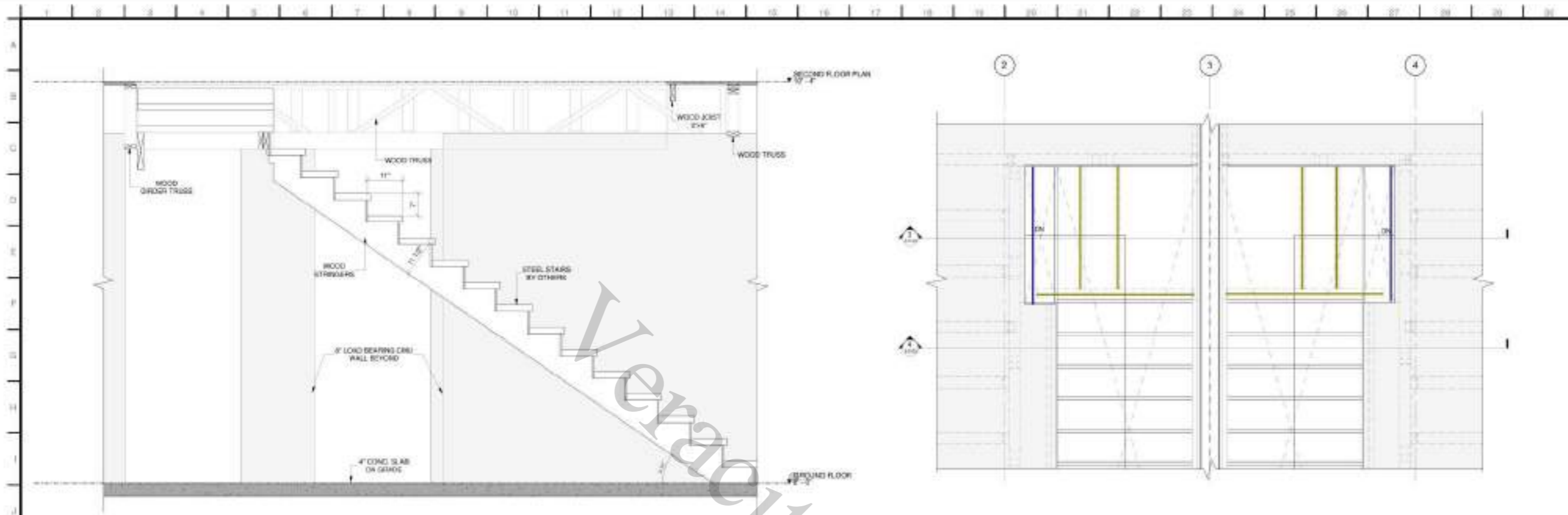
Scale: As Noted
Project Number: 20-046
Issue Date: 01-31-2024
Project Name: COMMENTS/ISSUE LOG

No.	Date	Revision description
1	03-07-2020	COMMENTS/ISSUE LOG DATE
2	04-19-2024	COMMENTS/ISSUE LOG DATE

Drawing Title: **ROOF PLAN**

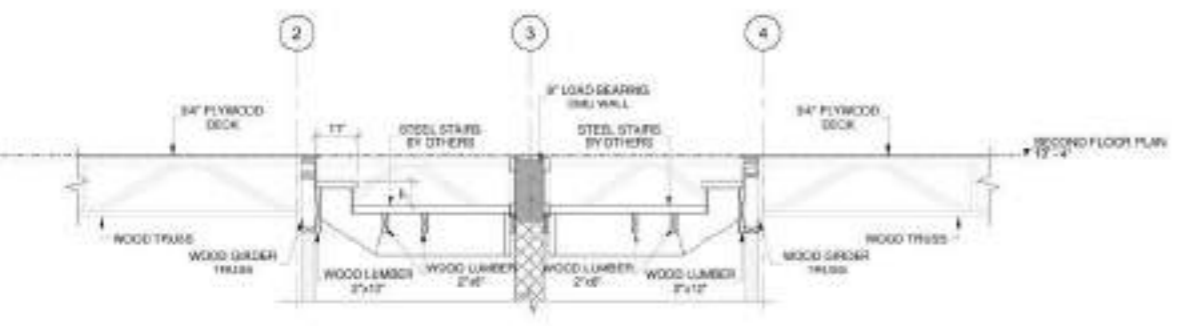
Sheet Number: **S-1.10**

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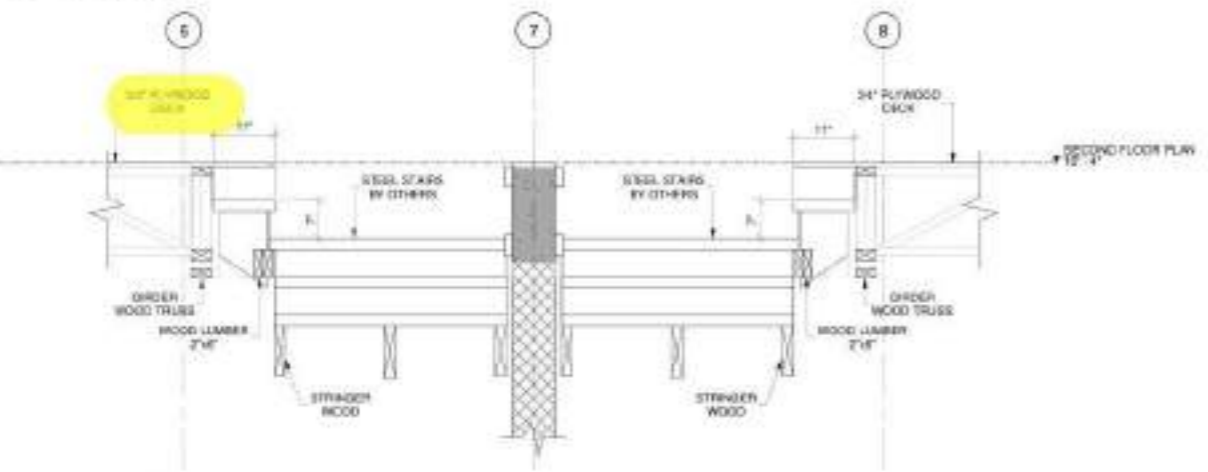


1 STAIR SECTION
Scale: 3/4" = 1'-0"

2 STAIRS PLAN
Scale: 3/4" = 1'-0"



3 SECTION 1
Scale: 1/2" = 1'-0"



4 SECTION 2
Scale: 3/4" = 1'-0"

	2x6 Wood Lumber	101.5 FT
	2x12 Wood Lumber	24.6 FT



Seal
This seal has been digitally signed and is sealed by Alvaro Martinez, PE, PE732 on the date indicated here. Partial copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Revisions:

No.	Date	Revision description
1	08-16-2024	COMMENTS DESCRIP/DWG.

Scale: As Noted
Project number: 20-488
Issue date: 01-31-2024
Project name: Construction Documents - Point Bar

Drawing title: STAIRS SECTIONS

Sheet number: **S-5.00**