



VERACITY
ESTIMATING

Construction Estimation Services

Item #	Ref. Sheet #	Item Description	Unit	Quantity	Wastage	Quantity w/ Wastage	Unit Material Cost	Total Material Cost	Unit Manhour	Hourly Wage	Unit Labor Cost	Total Labor Cost	Sub Cost	Total Trade Cost
DIVISION.01 GENERAL REQUIREMENTS														
1		Supervision and Coordination	LS	1	0%	1	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ 1,800.00	
2		Submittals and Shop drawings	LS	1	0%	1	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ 1,000.00	
3		Final Cleaning	LS	1	0%	1	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ 800.00	
4		Mobilization Costs	LS	1	0%	1	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ 3,200.00	
5		Temporary Control & Facilities	LS	1	0%	1	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ 1,000.00	
6		Scaffolding	SF	1550	10%	1705	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ 3,188.35	
Subtotal (General Requirements)														\$ 10,988
DIVISION 02- SITE WORK/ EXISTING CONDITIONS														
		Excavation												
7	S1	Excavation For Walls & Footings	CY	50	5%	53	\$ -	\$ -	0.550	\$ 40.00	\$ 22.00	\$ 1,155.00	\$ 1,155.00	
Subtotal (Site Work/ Existing Conditions)								\$ -			\$ 1,155		\$ 1,155	
DIVISION 03- CONCRETE														
		Foundation												
		Slab												
8		4" Concrete Pad For HVAC Unit - 15 SF	CY	0.18	5%	0	\$ 180.15	\$ 34.05	0.180	\$ 40.00	\$ 7.20	\$ 1.36	\$ 35.41	
9		4" Concrete Stop Landing - 33 SF	CY	0.40	5%	0	\$ 180.15	\$ 76.29	0.180	\$ 40.00	\$ 7.20	\$ 3.05	\$ 79.34	
10		4" Reinf. Concrete Slab W/ #3@18" O.C.EW - 1079 SF	CY	13.18	5%	14	\$ 180.15	\$ 2,493.10	0.180	\$ 40.00	\$ 7.20	\$ 99.64	\$ 2,592.74	
		Footings												
11		(1'-0"x1'-6") Reinf Concrete Wall Footing - 20 LF W/ (2)#4 @24 Horizontal T&B	CY	1.12	5%	1	\$ 180.15	\$ 211.86	0.180	\$ 40.00	\$ 7.20	\$ 8.47	\$ 220.32	
12	S1	(1'-6"x1'-6") Reinf Concrete Wall Footing -35 LF W/ (2)#4 @24 Horizontal T&B	CY	2.92	5%	3	\$ 180.15	\$ 552.34	0.180	\$ 40.00	\$ 7.20	\$ 22.08	\$ 574.42	
13		(2'-0"x1'-6") Reinf Concrete Wall Footing - 49 LF W/ (2)#4 @24 Horizontal T&B And #5 @ 16" O.C T&B	CY	5.44	5%	6	\$ 180.15	\$ 1,029.02	0.180	\$ 40.00	\$ 7.20	\$ 41.13	\$ 1,070.14	
14		(2'-6"Sq x 1'-6" D) Reinf Concrete Pad -2 EA W/ (5) #4 E.W @ Bottom	CY	0.28	5%	0	\$ 180.15	\$ 52.54	0.180	\$ 40.00	\$ 7.20	\$ 2.10	\$ 54.64	
15		(4'-0"x1'-6") Reinf Concrete Wall Footing - 51 LF W/ (4) #4 @24 Horizontal T&B	CY	11.33	5%	12	\$ 180.15	\$ 2,143.15	0.180	\$ 40.00	\$ 7.20	\$ 85.65	\$ 2,228.81	
Subtotal (Concrete)								\$ 6,592			\$ 263		\$ 6,856	
DIVISION 04- MASONRY														
		8" CMU Walls												
16	S2	8" CMU Wall As; (93 LF,9'-0" H) W/ 1 #5 Vert Bars @ 4' O.C	SF	837	5%	879	\$ 5.35	\$ 4,701.85	0.118	\$ 40.00	\$ 4.72	\$ 4,148.17	\$ 8,850.02	
		Grout												
17		8" CMU Wall As; (93 LF,9'-0" H) W/ 1 #5 Vert Bars @ 4' O.C	CY	1.28	5%	1	\$ 180.15	\$ 241.26	0.180	\$ 40.00	\$ 7.20	\$ 9.64	\$ 250.91	
Subtotal (Masonry)								\$ 4,943			\$ 4,158		\$ 9,101	
DIVISION 05- METAL														
		Metal												
18	A1	1-1/4" Dia Hand Rail 34" H	LF	14	5%	15	\$ 12.85	\$ 188.90	0.150	\$ 40.00	\$ 6.00	\$ 88.20	\$ 277.10	
19		Composite Wood Metal Railing 42"H	LF	40	5%	42	\$ 12.85	\$ 539.70	0.150	\$ 40.00	\$ 6.00	\$ 252.00	\$ 791.70	
		Steel Plate												
20		4"x4"x1/2 Steel Plate W/ (4) 3/8" 5" Lags	LF	17	5%	18	\$ 12.85	\$ 229.37	0.150	\$ 40.00	\$ 6.00	\$ 107.10	\$ 336.47	
Subtotal (Metals)								\$ 958			\$ 447		\$ 1,405	
DIVISION 06- WOOD, PLASTIC & COMPOSITES														
		Foundation												
		Post												
21		4X4 Post (8' H,2 EA)	LF	16	5%	17	\$ 3.98	\$ 66.86	0.024	\$ 40.00	\$ 0.96	\$ 16.13	\$ 82.99	
22		4x6 Post (8' H,7 EA)	LF	56	5%	59	\$ 4.65	\$ 273.42	0.028	\$ 40.00	\$ 1.12	\$ 65.86	\$ 339.28	
23		4X8 Post (8' H,1 EA)	LF	8	5%	8	\$ 5.15	\$ 43.26	0.030	\$ 40.00	\$ 1.20	\$ 10.08	\$ 53.34	
24		6x6 Post (8' H,3 EA)	LF	24	5%	25	\$ 5.55	\$ 139.86	0.032	\$ 40.00	\$ 1.28	\$ 32.26	\$ 172.12	
25		8x8 Post (8' H,2 EA)	LF	16	5%	17	\$ 6.65	\$ 111.72	0.035	\$ 40.00	\$ 1.40	\$ 23.52	\$ 135.24	
		Pressure Treated Plate												
26		3x6 Pressure Treated Wood Plate	LF	25	5%	26	\$ 3.98	\$ 104.48	0.025	\$ 40.00	\$ 1.00	\$ 26.25	\$ 130.73	
27		3x8 Pressure Treated Wood Plate	LF	92	5%	97	\$ 6.25	\$ 603.75	0.024	\$ 40.00	\$ 0.96	\$ 92.74	\$ 696.49	
		Hardware												
28		"HDUS" Holdown	EA	2	0%	2	\$ 1.85	\$ 3.70	0.025	\$ 40.00	\$ 1.00	\$ 2.00	\$ 5.70	
29		"HDU11" Holdown	EA	2	0%	2	\$ 4.95	\$ 9.90	0.032	\$ 40.00	\$ 1.28	\$ 2.56	\$ 12.46	
30		"STHD14" Simpson	EA	2	0%	2	\$ 5.18	\$ 10.36	0.032	\$ 40.00	\$ 1.28	\$ 2.56	\$ 12.92	
31		"MST60" Strap Simpson	EA	8	0%	8	\$ 3.55	\$ 28.40	0.032	\$ 40.00	\$ 1.28	\$ 10.24	\$ 38.64	
32		"CS16" Strap Simpson	EA	23	0%	23	\$ 2.88	\$ 66.24	0.032	\$ 40.00	\$ 1.28	\$ 29.44	\$ 95.68	
		Floor Framing												
		Posts												
33		6x6 Post (7'-3"H,2 EA)	LF	14	5%	15	\$ 5.55	\$ 81.59	0.032	\$ 40.00	\$ 1.28	\$ 18.82	\$ 100.40	
		Beam/ Header												
34		3-1/2"x11-7/8" FL Beam	LF	8	5%	8	\$ 6.25	\$ 52.50	0.035	\$ 40.00	\$ 1.40	\$ 11.76	\$ 64.26	
35		3-1/2"x14" Beam	LF	52	5%	55	\$ 8.30	\$ 453.18	0.035	\$ 40.00	\$ 1.40	\$ 76.44	\$ 529.62	
36		3-1/4"x11-7/8" Beam	LF	45	5%	47	\$ 6.25	\$ 295.31	0.028	\$ 40.00	\$ 1.12	\$ 52.92	\$ 348.23	
37		4x6 Header	LF	7	5%	7	\$ 4.65	\$ 34.18	0.022	\$ 40.00	\$ 0.88	\$ 6.47	\$ 40.65	
38		6x10 Header	LF	18	5%	19	\$ 6.80	\$ 128.52	0.029	\$ 40.00	\$ 1.16	\$ 21.92	\$ 150.44	
39		6x6 Header	LF	4	5%	4	\$ 6.68	\$ 28.06	0.030	\$ 40.00	\$ 1.20	\$ 5.04	\$ 33.10	
40		7"x11-7/8" FL Beam	LF	17	5%	18	\$ 6.25	\$ 111.56	0.035	\$ 40.00	\$ 1.40	\$ 24.99	\$ 136.55	
41		8x14 Beam	LF	40	5%	42	\$ 6.55	\$ 275.10	0.031	\$ 40.00	\$ 1.24	\$ 52.08	\$ 327.18	
		Joist/ Rim Joist												
42		11-7/8" TJI 360 Floor Joist @ 16" O.C - 909 SF	LF	684	5%	718	\$ 1.52	\$ 1,091.66	0.018	\$ 40.00	\$ 0.72	\$ 517.10	\$ 1,608.77	
43		2x14 Stair Stringer@ 16" O.C	LF	38	5%	40	\$ 8.10	\$ 323.19	0.035	\$ 40.00	\$ 1.40	\$ 55.86	\$ 379.05	
44		2x10 Deck Joist @ 16" O.C - 194 SF	LF	146	5%	153	\$ 1.52	\$ 233.02	0.018	\$ 40.00	\$ 0.72	\$ 110.38	\$ 343.39	
45		2"x12" Rim Joist	LF	25	5%	26	\$ 1.52	\$ 39.90	0.018	\$ 40.00	\$ 0.72	\$ 18.90	\$ 58.80	
		Blocking												
46		1-3/4" Timber Strand LVL	LF	75	5%	79	\$ 6.92	\$ 544.95	0.035	\$ 40.00	\$ 1.40	\$ 110.25	\$ 655.20	
47		2x12 J-Joist Blocking	LF	61	5%	64	\$ 5.25	\$ 336.26	0.028	\$ 40.00	\$ 1.12	\$ 71.74	\$ 408.00	
48		4x8 Blocking	SF	17	5%	18	\$ 6.35	\$ 113.35	0.028	\$ 40.00	\$ 1.12	\$ 19.99	\$ 133.34	
		Sheathing												
49		1/2" Plywood Floor Sheathing	SF	1109	5%	1164	\$ 0.98	\$ 1,141.16	0.020	\$ 40.00	\$ 0.80	\$ 931.56	\$ 2,072.72	
50		15/32" Shear Wall Sheathing W/ 8d Nails Equal Spacing	SF	536	5%	563	\$ 1.08	\$ 607.82	0.020	\$ 40.00	\$ 0.80	\$ 450.24	\$ 1,058.06	
		Hardware												
51		"EPCZ46" Cap Tie	EA	1	0%	1	\$ 1.85	\$ 1.85	0.025	\$ 40.00	\$ 1.00	\$ 1.00	\$ 2.85	
52		"EPCZ66" Cap Tie	EA	1	0%	1	\$ 4.95	\$ 4.95	0.032	\$ 40.00	\$ 1.28	\$ 1.28	\$ 6.23	
53		"A35" Clip Simpson	EA	97	0%	97	\$ 5.18	\$ 502.46	0.032	\$ 40.00	\$ 1.28	\$ 124.16	\$ 626.62	
54	A1,S1-S2	"MST60" Strap Simpson	EA	4	0%	4	\$ 3.55	\$ 14.20	0.032	\$ 40.00	\$ 1.28	\$ 5.12	\$ 19.32	
		Roof Framing												
		Post												
55		6x6 Post (7'-3" H, 2 EA)	LF	14	5%	15	\$ 5.55	\$ 81.59	0.032	\$ 40.00	\$ 1.28	\$ 18.82	\$ 100.40	
56		6X6 King Post (3'-6"H,1 EA)	LF	4	5%	4	\$ 5.55	\$ 23.31	0.032	\$ 40.00	\$ 1.28	\$ 5.38	\$ 28.69	
57		4x6 Post (7'-3" H, 2 EA)	LF	14	5%	15	\$ 4.65	\$ 68.36	0.028	\$ 40.00	\$ 1.12	\$ 16.46	\$ 84.82	
		Beam/ Header												
58		6x12 Drop Beam	LF	40	5%	42	\$ 6.92	\$ 290.64	0.035	\$ 40.00	\$ 1.40	\$ 58.80	\$ 349.44	
59		6X8 Ridge Beam	LF	51	5%	54	\$ 6.92	\$ 370.57	0.035	\$ 40.00	\$ 1.40	\$ 74.97	\$ 445.54	
60		6x6 Header	LF	23	5%	24	\$ 6.68	\$ 161.32	0.024	\$ 40.00	\$ 0.96	\$ 23.18	\$ 184.51	
61		6x8 Header	LF	7	5%	7	\$ 6.80	\$ 49.98	0.024	\$ 40.00	\$ 0.96	\$ 7.06	\$ 57.04	
62		4x6 Header	LF	10	5%	11	\$ 4.65	\$ 48.83	0.024	\$ 40.00	\$ 0.96	\$ 10.08	\$ 58.91	
63		6x10 Header	LF	14	5%	15	\$ 7.10	\$ 104.37	0.024	\$ 40.00	\$ 0.96	\$ 14.11	\$ 118.48	
		Trusses												
64		Manufactured Roof Trusses @ 24" O.C	SF	1056	5%	1109	\$ 5.15	\$ 5,710.32	0.020	\$ 40.00	\$ 0.80	\$ 887.04	\$ 6,597.36	
		Rafter												

Building Data Summary	
Project ID:	New Detached ADU
Location:	*****
Scope of Work:	GC
Date:	Oct 02 , 2024



Construction Estimation Services

Item #	Ref. Sheet #	Item Description	Unit	Quantity	Wastage	Quantity w/ Wastage	Unit Material Cost	Total Material Cost	Unit Manhour	Hourly Wage	Unit Labor Cost	Total Labor Cost	Sub Cost	Total Trade Cost
65		2X8 Roof Rafter @ 24" O.C	LF	126	5%	132	\$ 2.15	\$ 284.45	0.020	\$ 40.00	\$ 0.80	\$ 105.84	\$ 390.29	
		Blocking												
66		2x10 Blocking	LF	101	5%	106	\$ 6.35	\$ 673.42	0.028	\$ 40.00	\$ 1.12	\$ 118.78	\$ 792.19	
		Sheathing												
67		1/2" Plywood Roof Sheathing	SF	1056	5%	1109	\$ 0.98	\$ 1,086.62	0.020	\$ 40.00	\$ 0.80	\$ 887.04	\$ 1,973.66	
68		15/32" Shear Wall Sheathing W/ 8d Nails Equal Spacing	SF	667	5%	700	\$ 1.08	\$ 756.38	0.020	\$ 40.00	\$ 0.80	\$ 560.28	\$ 1,316.66	
		Hardware												
69		"EPC246" Cap Tie	EA	2	0%	2	\$ 1.85	\$ 3.70	0.025	\$ 40.00	\$ 1.00	\$ 2.00	\$ 5.70	
70		"A35" Clip Simpson	EA	26	0%	26	\$ 4.95	\$ 128.70	0.032	\$ 40.00	\$ 1.28	\$ 33.28	\$ 161.98	
71		"ST6223" Simpson	EA	40	0%	40	\$ 5.18	\$ 207.20	0.032	\$ 40.00	\$ 1.28	\$ 51.20	\$ 258.40	
72		"H1" Simpson	EA	528	0%	528	\$ 3.55	\$ 1,874.40	0.032	\$ 40.00	\$ 1.28	\$ 675.84	\$ 2,550.24	
		Millwork												
		Ground Floor												
		Stairs												
73		(3'-4" Wide) Wooden Stairs (10" W Tread 13 EA), (7" H Riser 14 EA)	LOC	1	0%	1	\$ 1,573.20	\$ 1,573.20	8.500	\$ 40.00	\$ 340.00	\$ 340.00	\$ 1,913.20	
		Cabinets												
74		(2'-0" W) Lavatory Base Cabinets	LF	4	5%	4	\$ 280.35	\$ 1,177.47	0.350	\$ 40.00	\$ 14.00	\$ 58.80	\$ 1,236.27	
		First Floor												
		Walk In Closet												
75		(1'-6" W) Walk In Closet W/ Rod & Shelf	LF	17	5%	18	\$ 245.00	\$ 4,373.25	0.350	\$ 40.00	\$ 14.00	\$ 249.90	\$ 4,623.15	
		Pantry												
76		(2'-0" W) Pantry	LF	4	5%	4	\$ 280.35	\$ 1,177.47	0.350	\$ 40.00	\$ 14.00	\$ 58.80	\$ 1,236.27	
		Cabinets												
77		(2'-0" W) Lavatory Base Cabinets	LF	6	5%	6	\$ 280.35	\$ 1,766.21	0.350	\$ 40.00	\$ 14.00	\$ 88.20	\$ 1,854.41	
78		(2'-0" W) Wooden Base Cabinet	LF	18	5%	19	\$ 280.35	\$ 5,298.62	0.350	\$ 40.00	\$ 14.00	\$ 264.60	\$ 5,563.22	
79		(1'-0" W) Overhead Cabinet	LF	16	5%	17	\$ 245.00	\$ 4,116.00	0.350	\$ 40.00	\$ 14.00	\$ 235.20	\$ 4,351.20	
		Subtotal (Wood & Plastic Composites)						\$ 39,283				\$ 7,847		\$ 47,130

DIVISION 07- THERMAL & MOISTURE PROTECTION														
		Roofing												
80		Ridge Tile	LF	51	5%	54	\$ 4.85	\$ 259.72	0.032	\$ 40.00	\$ 1.28	\$ 68.54	\$ 328.26	
81		Stone worth Building Product Concrete Tile Class A	SF	1377	5%	1446	\$ 4.85	\$ 7,012.37	0.032	\$ 40.00	\$ 1.28	\$ 1,850.69	\$ 8,863.06	
82		72# Felt Paper	SF	1377	5%	1446	\$ 0.32	\$ 462.67	0.012	\$ 40.00	\$ 0.48	\$ 694.01	\$ 1,156.68	
83		Fascia Board W/ Fascia Cover	LF	101	5%	106	\$ 2.88	\$ 305.42	0.025	\$ 40.00	\$ 1.00	\$ 106.05	\$ 411.47	
84		Metal Gutter	LF	101	5%	106	\$ 4.25	\$ 450.71	0.032	\$ 40.00	\$ 1.28	\$ 135.74	\$ 586.46	
85		Metal Drip Edge Trim	LF	101	5%	106	\$ 2.65	\$ 281.03	0.032	\$ 40.00	\$ 1.28	\$ 135.74	\$ 416.78	
86		Downspout - 4 EA	LF	72	5%	76	\$ 2.25	\$ 170.10	0.250	\$ 40.00	\$ 10.00	\$ 756.00	\$ 926.10	
87		(1'-0" W) Soffit	SF	100	5%	105	\$ 1.85	\$ 194.25	0.025	\$ 40.00	\$ 1.00	\$ 105.00	\$ 299.25	
		Flashing												
88		Ridge Flashing	LF	51	5%	54	\$ 2.65	\$ 141.91	0.025	\$ 40.00	\$ 1.00	\$ 53.55	\$ 195.46	
89		Doors Flashing	LF	142	5%	149	\$ 2.65	\$ 395.12	0.025	\$ 40.00	\$ 1.00	\$ 149.10	\$ 544.22	
90		Window Flashing	LF	99	5%	104	\$ 2.65	\$ 275.47	0.025	\$ 40.00	\$ 1.00	\$ 103.95	\$ 379.42	
		Waterproofing												
91		Waterproof Membrane On Deck	SF	184	5%	193	\$ 0.32	\$ 61.82	0.012	\$ 40.00	\$ 0.48	\$ 92.74	\$ 154.56	
		Insulation												
92		R-13 Batt Insulation @ Roof	SF	1385	5%	1454	\$ 0.92	\$ 1,337.91	0.012	\$ 40.00	\$ 0.48	\$ 698.04	\$ 2,035.95	
93		R-19 Batt Insulation @ Floor	SF	906	5%	951	\$ 1.23	\$ 1,170.10	0.015	\$ 40.00	\$ 0.60	\$ 570.78	\$ 1,740.88	
94		R-38 Batt Insulation @ Ceiling	SF	1312	5%	1378	\$ 1.23	\$ 1,694.45	0.015	\$ 40.00	\$ 0.60	\$ 826.56	\$ 2,521.01	
		Subtotal (Thermal & Moisture Protection)						\$ 14,213				\$ 6,346		\$ 20,560

DIVISION 08- OPENINGS														
		Doors												
95		(10'-0"x7'-0") Garage Door	EA	1	0%	1	\$ 2,246.25	\$ 2,246.25	3.250	\$ 40.00	\$ 130.00	\$ 130.00	\$ 2,376.25	
96		(12'-0"x6'-8") Sliding Glass Door	EA	1	0%	1	\$ 1,725.38	\$ 1,725.38	2.100	\$ 40.00	\$ 84.00	\$ 84.00	\$ 1,809.38	
97		(2'-4"x6'-8") Wooden Sliding Door W/ Frame	EA	1	0%	1	\$ 450.00	\$ 450.00	1.210	\$ 40.00	\$ 48.40	\$ 48.40	\$ 498.40	
98		(2'-6"x6'-8") Wooden Door W/ Frame	EA	1	0%	1	\$ 550.20	\$ 550.20	1.210	\$ 40.00	\$ 48.40	\$ 48.40	\$ 598.60	
99		(2'-8"x6'-8") Wooden PT Sliding Door W/ Frame	EA	2	0%	2	\$ 480.56	\$ 961.12	1.210	\$ 40.00	\$ 48.40	\$ 96.80	\$ 1,057.92	
100		(2'-8"x6'-8") Wooden Single Leaf Door W/ Frame	EA	2	0%	2	\$ 550.20	\$ 1,100.40	1.210	\$ 40.00	\$ 48.40	\$ 96.80	\$ 1,197.20	
101		(3'-0"x6'-8") Wooden Single Leaf Door W/ Frame	EA	1	0%	1	\$ 620.35	\$ 620.35	1.210	\$ 40.00	\$ 48.40	\$ 48.40	\$ 668.75	
		Hardware												
102		Doors Hardware	EA	9	0%	9	\$ 400.00	\$ 3,600.00	1.150	\$ 40.00	\$ 46.00	\$ 414.00	\$ 4,014.00	
		Windows												
103		(2'-6"x4'-0") Casement Window W/ Frame	EA	1	0%	1	\$ 560.00	\$ 560.00	1.500	\$ 40.00	\$ 60.00	\$ 60.00	\$ 620.00	
104		(4'-0"x2'-0") Sliding Tempered Window W/ Frame	EA	1	0%	1	\$ 768.00	\$ 768.00	2.100	\$ 40.00	\$ 84.00	\$ 84.00	\$ 852.00	
105		(4'-0"x3'-0") Sliding Window W/ Frame	EA	1	0%	1	\$ 768.00	\$ 768.00	2.100	\$ 40.00	\$ 84.00	\$ 84.00	\$ 852.00	
106		(6'-0"x4'-0") Sliding Window W/ Frame	EA	2	0%	2	\$ 896.00	\$ 1,792.00	2.200	\$ 40.00	\$ 88.00	\$ 176.00	\$ 1,968.00	
107		(6'-0"x4'-0") Wooden Window W/ Frame	EA	1	0%	1	\$ 896.00	\$ 896.00	2.200	\$ 40.00	\$ 88.00	\$ 88.00	\$ 984.00	
		Subtotal (Openings)						\$ 16,038				\$ 1,459		\$ 17,497

DIVISION 09- FINISHES														
		Wall Framing												
		Ground Floor												
		Wall Type "Exterior" As; (24 LF, 8'-0" H)												
108		(5/8") Gypsum Board	SF	192	5%	202	\$ 0.98	\$ 197.57	0.020	\$ 40.00	\$ 0.80	\$ 161.28	\$ 358.85	
109		(2"x6") Wood Studs @ 16" O.C. (19 EA, 152 LF)	SF	192	5%	202	\$ 2.28	\$ 459.65	0.017	\$ 40.00	\$ 0.68	\$ 137.09	\$ 596.74	
110		R-21 Batt Insulation	SF	192	5%	202	\$ 0.90	\$ 181.44	0.010	\$ 40.00	\$ 0.40	\$ 80.64	\$ 262.08	
111		1/2" Plywood Sheathing	SF	192	5%	202	\$ 1.05	\$ 211.68	0.020	\$ 40.00	\$ 0.80	\$ 161.28	\$ 372.96	
112		(2"x6") Top & Bottom Plates	LF	72	5%	76	\$ 2.28	\$ 172.37	0.017	\$ 40.00	\$ 0.68	\$ 51.41	\$ 223.78	
113		Sealant (As Required)	LF	96	5%	101	\$ 0.25	\$ 25.20	0.010	\$ 40.00	\$ 0.40	\$ 40.32	\$ 65.52	
		Wall Type "Exterior" As; (10 LF, 1'-0" H)												
114		(5/8") Gypsum Board	SF	10	5%	11	\$ 0.98	\$ 10.29	0.020	\$ 40.00	\$ 0.80	\$ 8.40	\$ 18.69	
115		(2"x6") Wood Studs @ 16" O.C. (9 EA, 9 LF)	SF	10	5%	11	\$ 2.28	\$ 23.94	0.017	\$ 40.00	\$ 0.68	\$ 7.14	\$ 31.08	
116		R-21 Batt Insulation	SF	10	5%	11	\$ 0.90	\$ 9.45	0.010	\$ 40.00	\$ 0.40	\$ 4.20	\$ 13.65	
117		1/2" Plywood Sheathing	SF	10	5%	11	\$ 1.05	\$ 11.03	0.020	\$ 40.00	\$ 0.80	\$ 8.40	\$ 19.43	
118		(2"x6") Top & Bottom Plates	LF	30	5%	32	\$ 2.28	\$ 71.82	0.017	\$ 40.00	\$ 0.68	\$ 21.42	\$ 93.24	
119		Sealant (As Required)	LF	40	5%	42	\$ 0.25	\$ 10.50	0.010	\$ 40.00	\$ 0.40	\$ 16.80	\$ 27.30	
		Wall Type "Interior" As; (37 LF, 8'-0" H)												
120		(5/8") Gypsum Board	SF	592	5%	622	\$ 0.98	\$ 609.17	0.020	\$ 40.00	\$ 0.80	\$ 497.28	\$ 1,106.45	
121		(2"x4") Wood Studs @ 16" O.C. (29 EA, 231 LF)	SF	296	5%	311	\$ 1.28	\$ 397.82	0.017	\$ 40.00	\$ 0.68	\$ 211.34	\$ 609.17	
122		R-15 Batt Insulation	SF	296	5%	311	\$ 0.90	\$ 279.72	0.010	\$ 40.00	\$ 0.40	\$ 124.32	\$ 404.04	
123		(2"x4") Top & Bottom Plates	LF	111	5%	117	\$ 1.28	\$ 149.18	0.017	\$ 40.00	\$ 0.68	\$ 79.25	\$ 228.44	
124		Sealant (As Required)	LF	148	5%	155	\$ 0.25	\$ 38.85	0.010	\$ 40.00	\$ 0.40	\$ 62.16	\$ 101.01	
		First Floor												
		Wall Type "Interior" As; (63 LF, 8'-0" H)												
125		(5/8") Gypsum Board	SF	1008	5%	1058	\$ 0.98	\$ 1,037.23	0.020	\$ 40.00	\$ 0.80	\$ 846.72	\$ 1,883.95	
126		(2"x4") Wood Studs @ 16" O.C. (48 EA, 387 LF)	SF	504	5%	529	\$ 1.28	\$ 677.38	0.017	\$ 40.00	\$ 0.68	\$ 359.86	\$ 1,037.23	
127		R-15 Batt Insulation	SF	504	5%	529	\$ 0.90	\$ 476.28	0.010	\$ 40.00	\$ 0.40	\$ 211.68	\$ 687.96	
128		(2"x4") Top & Bottom Plates	LF	189	5%	198	\$ 1.28	\$ 254.02	0.017	\$ 40.00	\$ 0.68	\$ 134.95	\$ 388.96	
129		Sealant (As Required)	LF	252	5%	265	\$ 0.25	\$ 66.15	0.010	\$ 40.00	\$ 0.40	\$ 105.84	\$ 171.99	
		Wall Type "Exterior" As; (12 LF, 1'-0" H)												
130		(5/8") Gypsum Board	SF	12	5%	13	\$ 0.98	\$ 12.35	0.020	\$ 40.00	\$ 0.80	\$ 10.08	\$ 22.43	
131		(2"x6") Wood Studs @ 16" O.C. (10 EA, 10 LF)	SF	12	5%	13	\$ 2.28	\$ 28.73	0.017	\$ 40.00	\$ 0.68	\$ 8.57	\$ 37.30	
132		R-21 Batt Insulation	SF	12	5%	13	\$ 0.90	\$ 11.34	0.010	\$ 40.00	\$ 0.40	\$ 5.04	\$ 16.38	
133		1/2" Plywood Sheathing	SF	12	5%	13	\$ 1.05	\$ 13.23	0.020	\$ 40.00	\$ 0.80	\$ 10.08	\$ 23.31	
134		(2"x6") Top & Bottom Plates	LF	36	5%	38	\$ 2.28	\$ 86.18	0.017	\$ 40.00	\$ 0.68	\$ 25.70	\$ 111.89	
135		Sealant (As Required)	LF	48	5%	50	\$ 0.25	\$ 12.60	0.010	\$ 40.00	\$ 0.40	\$ 20.16	\$ 32.76	
		Wall Type "Exterior" As; (115 LF, 8'-0" H)												
136		(5/8") Gypsum Board	SF	920	5%	966	\$ 0.98	\$ 946.68	0.020	\$ 40.00	\$ 0.80	\$ 772.80	\$ 1,719.48	
137		(2"x6") Wood Studs @ 16" O.C. (87 EA, 700 LF)	SF	920	5%	966	\$ 2.28	\$ 2,202.48	0.017	\$ 40.00	\$ 0.68	\$ 656.88	\$ 2,859.36	
138		R-21 Batt Insulation	SF	920	5%	966	\$ 0.90	\$ 869.40	0.010	\$ 40.00	\$ 0.40	\$ 386.40	\$ 1,255.80	

Building Data Summary	
Project ID:	New Detached ADU
Location:	*****
Scope of Work:	GC
Date:	Oct 02 , 2024



Construction Estimation Services

Item #	Ref. Sheet #	Item Description	Unit	Quantity	Wastage	Quantity w/ Wastage	Unit Material Cost	Total Material Cost	Unit Manhour	Hourly Wage	Unit Labor Cost	Total Labor Cost	Sub Cost	Total Trade Cost	
139	A1-A2	1/2" Plywood Sheathing	SF	920	5%	966	\$ 1.05	\$ 1,014.30	0.020	\$ 40.00	\$ 0.80	\$ 772.80	\$ 1,787.10		
140		(2"x6") Top & Bottom Plates	LF	345	5%	362	\$ 2.28	\$ 825.93	0.017	\$ 40.00	\$ 0.68	\$ 246.33	\$ 1,072.26		
141		Sealant (As Required)	LF	460	5%	483	\$ 0.25	\$ 120.75	0.010	\$ 40.00	\$ 0.40	\$ 193.20	\$ 313.95		
		Wall Type "Low Height" As; (15 LF, 3'-6" H)													
142		(5/8") Gypsum Board	SF	105	5%	110	\$ 0.98	\$ 108.05	0.020	\$ 40.00	\$ 0.80	\$ 88.20	\$ 196.25		
143		(2"x4") Wood Studs @ 16" O.C. (12 EA, 43 LF)	SF	53	5%	56	\$ 1.28	\$ 71.23	0.017	\$ 40.00	\$ 0.68	\$ 37.84	\$ 109.07		
144		(2"x4") Top & Bottom Plates	LF	45	5%	47	\$ 1.28	\$ 60.48	0.017	\$ 40.00	\$ 0.68	\$ 32.13	\$ 92.61		
145		Sealant (As Required)	LF	60	5%	63	\$ 0.25	\$ 15.75	0.010	\$ 40.00	\$ 0.40	\$ 25.20	\$ 40.95		
		Interior Finishes													
		Ground Floor													
	Ceiling														
146	A1-A2	5/8" Painted Type "X" Gypsum Board Under Stair	SF	44	5%	46	\$ 1.10	\$ 50.82	0.020	\$ 40.00	\$ 0.80	\$ 36.96	\$ 87.78		
147		2 Layer 5/8" Painted Type X MR Gypsum Board Bath Ceiling	SF	32	5%	34	\$ 1.10	\$ 36.96	0.020	\$ 40.00	\$ 0.80	\$ 26.88	\$ 63.84		
148		2 Layer 5/8" Painted Type "X" Gypsum Board Ceiling	SF	1950	5%	2048	\$ 1.10	\$ 2,252.25	0.020	\$ 40.00	\$ 0.80	\$ 1,638.00	\$ 3,890.25		
		Flooring													
149		Sealed Concrete Floor	SF	975	5%	1024	\$ 5.12	\$ 5,241.60	0.085	\$ 40.00	\$ 3.40	\$ 3,480.75	\$ 8,722.35		
150		Tile Flooring	SF	16	5%	17	\$ 4.58	\$ 76.94	0.092	\$ 40.00	\$ 3.68	\$ 61.82	\$ 138.77		
		Wall Base													
151		Rubber Base	LF	121	5%	127	\$ 1.85	\$ 235.04	0.022	\$ 40.00	\$ 0.88	\$ 111.80	\$ 346.85		
		Floor Transition													
152		Floor Transition Strip	LF	3	5%	3	\$ 1.20	\$ 3.78	0.035	\$ 40.00	\$ 1.40	\$ 4.41	\$ 8.19		
	Wall Tile														
153	A1-A2	Tile @ Wall	SF	75	5%	79	\$ 4.58	\$ 360.68	0.092	\$ 40.00	\$ 3.68	\$ 289.80	\$ 650.48		
		Wall Paint													
154		Paint @ Wall	SF	1468	5%	1541	\$ 0.82	\$ 1,263.95	0.020	\$ 40.00	\$ 0.80	\$ 1,233.12	\$ 2,497.07		
		First Floor													
		Ceiling													
155		1/2" Painted Type "X" Gypsum Board Ceiling	SF	793	5%	833	\$ 1.10	\$ 915.92	0.020	\$ 40.00	\$ 0.80	\$ 666.12	\$ 1,582.04		
156		1/2" Painted Type "X" MR Gypsum Board Bath Ceiling	SF	75	5%	79	\$ 1.10	\$ 86.63	0.020	\$ 40.00	\$ 0.80	\$ 63.00	\$ 149.63		
		Flooring													
157		Hardwood Flooring	SF	553	5%	581	\$ 5.12	\$ 2,972.93	0.085	\$ 40.00	\$ 3.40	\$ 1,974.21	\$ 4,947.14		
158		Tile Flooring	SF	280	5%	294	\$ 4.58	\$ 1,346.52	0.092	\$ 40.00	\$ 3.68	\$ 1,081.92	\$ 2,428.44		
	Wall Base														
159	A1-A2	MDF Wood Base	LF	138	5%	145	\$ 1.85	\$ 268.07	0.022	\$ 40.00	\$ 0.88	\$ 127.51	\$ 395.58		
160		Tile Base	LF	35	5%	37	\$ 2.85	\$ 104.74	0.056	\$ 40.00	\$ 2.24	\$ 82.32	\$ 187.06		
		Floor Transition													
161		Floor Transition Strip	LF	3	5%	3	\$ 1.20	\$ 3.78	0.035	\$ 40.00	\$ 1.40	\$ 4.41	\$ 8.19		
		Wall Tile													
162		Tile @ Wall	SF	173	5%	182	\$ 4.58	\$ 831.96	0.092	\$ 40.00	\$ 3.68	\$ 668.47	\$ 1,500.43		
		Wall Paint													
163		Paint @ Wall	SF	2131	5%	2238	\$ 0.82	\$ 1,834.79	0.020	\$ 40.00	\$ 0.80	\$ 1,790.04	\$ 3,624.83		
		Opening Finishes													
164		Paint On Doors W/ Frame	SF	550	5%	578	\$ 0.80	\$ 462.00	0.015	\$ 40.00	\$ 0.60	\$ 346.50	\$ 808.50		
165	A1-A2	Paint On Doors Trim	LF	284	5%	298	\$ 0.70	\$ 208.74	0.015	\$ 40.00	\$ 0.60	\$ 178.92	\$ 387.66		
166		Paint On Window Trim	LF	198	5%	208	\$ 0.62	\$ 128.90	0.015	\$ 40.00	\$ 0.60	\$ 124.74	\$ 253.64		
167		Paint On Railing	LF	54	5%	57	\$ 0.62	\$ 35.15	0.015	\$ 40.00	\$ 0.60	\$ 34.02	\$ 69.17		
		Exterior Finishes													
168		(3 Coats) 7/8" Stucco Finish	SF	1497	5%	1572	\$ 4.20	\$ 6,601.77	0.085	\$ 40.00	\$ 3.40	\$ 5,344.29	\$ 11,946.06		
169		Metal Lath Under Stucco	SF	1497	5%	1572	\$ 0.25	\$ 392.96	0.015	\$ 40.00	\$ 0.60	\$ 943.11	\$ 1,336.07		
170		2 Layer Of Grade "D" Paper	SF	2994	5%	3144	\$ 0.15	\$ 471.56	0.015	\$ 40.00	\$ 0.60	\$ 1,886.22	\$ 2,357.78		
171		Veep Screed	LF	194	5%	204	\$ 1.10	\$ 224.07	0.035	\$ 40.00	\$ 1.40	\$ 285.18	\$ 509.25		
Subtotal (Finishes)								\$ 38,183				\$ 29,108		\$ 67,290	
DIVISION 10- SPECIALTIES															
172	A1-A2	(4'-0"x7'-0") Kitchen Island	EA	1	0%	1	\$ 4,585.00	\$ 4,585.00	4.100	\$ 40.00	\$ 164.00	\$ 164.00	\$ 4,749.00		
173		(6'-0"x6'-0") Tempered Glass & Door	EA	1	0%	1	\$ 1,280.25	\$ 1,280.25	1.800	\$ 40.00	\$ 72.00	\$ 72.00	\$ 1,352.25		
174		Countertop	SF	20	0%	20	\$ 80.10	\$ 1,602.00	0.233	\$ 40.00	\$ 9.32	\$ 186.40	\$ 1,788.40		
		Bath Accessories													
175		Mirror	EA	2	0%	2	\$ 148.66	\$ 297.32	0.720	\$ 40.00	\$ 28.80	\$ 57.60	\$ 354.92		
176		Coat Hook	EA	2	0%	2	\$ 35.65	\$ 71.30	0.350	\$ 40.00	\$ 14.00	\$ 28.00	\$ 99.30		
177		Soap Dispenser	EA	2	0%	2	\$ 41.65	\$ 83.30	0.300	\$ 40.00	\$ 12.00	\$ 24.00	\$ 107.30		
178		Tissue Holder	EA	2	0%	2	\$ 48.98	\$ 97.96	0.320	\$ 40.00	\$ 12.80	\$ 25.60	\$ 123.56		
179		(18" H) Grab Bar	EA	2	0%	2	\$ 29.65	\$ 59.30	0.320	\$ 40.00	\$ 12.80	\$ 25.60	\$ 84.90		
180		(36" H) Grab Bar	EA	2	0%	2	\$ 38.95	\$ 77.90	0.398	\$ 40.00	\$ 15.92	\$ 31.84	\$ 109.74		
181	(42" H) Grab Bar	EA	2	0%	2	\$ 45.00	\$ 90.00	0.420	\$ 40.00	\$ 16.80	\$ 33.60	\$ 123.60			
Subtotal (Specialties)								\$ 8,244				\$ 649		\$ 8,893	
DIVISION 11- EQUIPMENT															
182	A1-A2	Refrigerator	EA	1	0%	1	\$ 1,400.00	\$ 1,400.00	0.300	\$ 40.00	\$ 12.00	\$ 12.00	\$ 1,412.00		
183		Stove	EA	1	0%	1	\$ 1,488.00	\$ 1,488.00	1.500	\$ 40.00	\$ 60.00	\$ 60.00	\$ 1,548.00		
184		Washer	EA	1	0%	1	\$ 1,258.00	\$ 1,258.00	0.500	\$ 40.00	\$ 20.00	\$ 20.00	\$ 1,278.00		
185		Dryer	EA	1	0%	1	\$ 1,258.00	\$ 1,258.00	0.500	\$ 40.00	\$ 20.00	\$ 20.00	\$ 1,278.00		
Subtotal (Equipment)								\$ 5,404				\$ 112		\$ 5,516	
DIVISION 22- PLUMBING															
	A1-A2	Ground Floor													
186		3/4" Hose Bibb	EA	1	0%	1	\$ 110.20	\$ 110.20	0.060	\$ 40.00	\$ 2.40	\$ 2.40	\$ 112.60		
187		Lavatory	EA	1	0%	1	\$ 551.00	\$ 551.00	2.980	\$ 40.00	\$ 119.20	\$ 119.20	\$ 670.20		
188		Water Closet	EA	1	0%	1	\$ 636.00	\$ 636.00	3.250	\$ 40.00	\$ 130.00	\$ 130.00	\$ 766.00		
189		Water Heater	EA	1	0%	1	\$ 1,828.30	\$ 1,828.30	4.200	\$ 40.00	\$ 168.00	\$ 168.00	\$ 1,996.30		
		First Floor													
190		Water Closet	EA	1	0%	1	\$ 636.00	\$ 636.00	3.250	\$ 40.00	\$ 130.00	\$ 130.00	\$ 766.00		
191		Shower Head	EA	1	0%	1	\$ 198.65	\$ 198.65	0.150	\$ 40.00	\$ 6.00	\$ 6.00	\$ 204.65		
192		Lavatory	EA	1	0%	1	\$ 551.00	\$ 551.00	2.980	\$ 40.00	\$ 119.20	\$ 119.20	\$ 670.20		
193		Kitchen Double Sink	EA	1	0%	1	\$ 1,136.10	\$ 1,136.10	2.100	\$ 40.00	\$ 84.00	\$ 84.00	\$ 1,220.10		
194		(3'-4"x6'-0") Shower Compartment W/ Floor Drain	EA	1	0%	1	\$ 1,252.30	\$ 1,252.30	4.100	\$ 40.00	\$ 164.00	\$ 164.00	\$ 1,416.30		
	Allowance														
195	A1-A2	Allowance For Supply & Sanitary Pipes	SF	1922	5%	2018	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ 3,773.85		
Subtotal (Plumbing)								\$ 6,900				\$ 923		\$ 11,596	
DIVISION 25- HVAC/MECHANICAL															
	A1-A2	HVAC													
196		Heat Pump HVAC	EA	1	0%	1	\$ 1,732.32	\$ 1,732.32	2.980	\$ 40.00	\$ 119.20	\$ 119.20	\$ 1,851.52		
197		(4" Dia) Metal Dryer Vent Duct With Backdraft Damper	EA	1	0%	1	\$ 185.00	\$ 185.00	0.450	\$ 40.00	\$ 18.00	\$ 18.00	\$ 203.00		
		Allowance													
198	A1-A2	Allowance For Supply & Returns Air Ducts	SF	1922	5%	2018	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ 3,773.85		
Subtotal (HVAC/Mechanical)								\$ 1,917				\$ 137		\$ 5,828	
DIVISION 26- ELECTRICAL															
	A1-A2	Ground Floor													
		Power													
199		Single Pole Switch	EA	2	0%	2	\$ 11.25	\$ 22.50	0.180	\$ 40.00	\$ 7.20	\$ 14.40	\$ 36.90		
200		GFCI Duplex Receptacle	EA	7	0%	7	\$ 28.65	\$ 200.55	0.250	\$ 40.00	\$ 10.00	\$ 70.00	\$ 270.55		
201		Weatherproof GFCI Duplex Receptacle	EA	3	0%	3	\$ 35.65	\$ 106.95	0.250	\$ 40.00	\$ 10.00	\$ 30.00	\$ 136.95		
202		Disconnect Switch	EA	1	0%	1	\$ 126.32	\$ 126.32	0.380	\$ 40.00	\$ 15.20	\$ 15.20	\$ 141.52		
203		Vacancy Sensor Switch	EA	2	0%	2	\$ 65.00	\$ 130.00	0.300	\$ 40.00	\$ 12.00	\$ 24.00	\$ 154.00		
204		Duplex Receptacle	EA	1	0%	1	\$ 21.20	\$ 21.20	0.220	\$ 40.00	\$ 8.80	\$ 8.80	\$ 30.00		
205		4-Way Switch	EA	1	0%	1	\$ 25.10	\$ 25.10	0.220	\$					

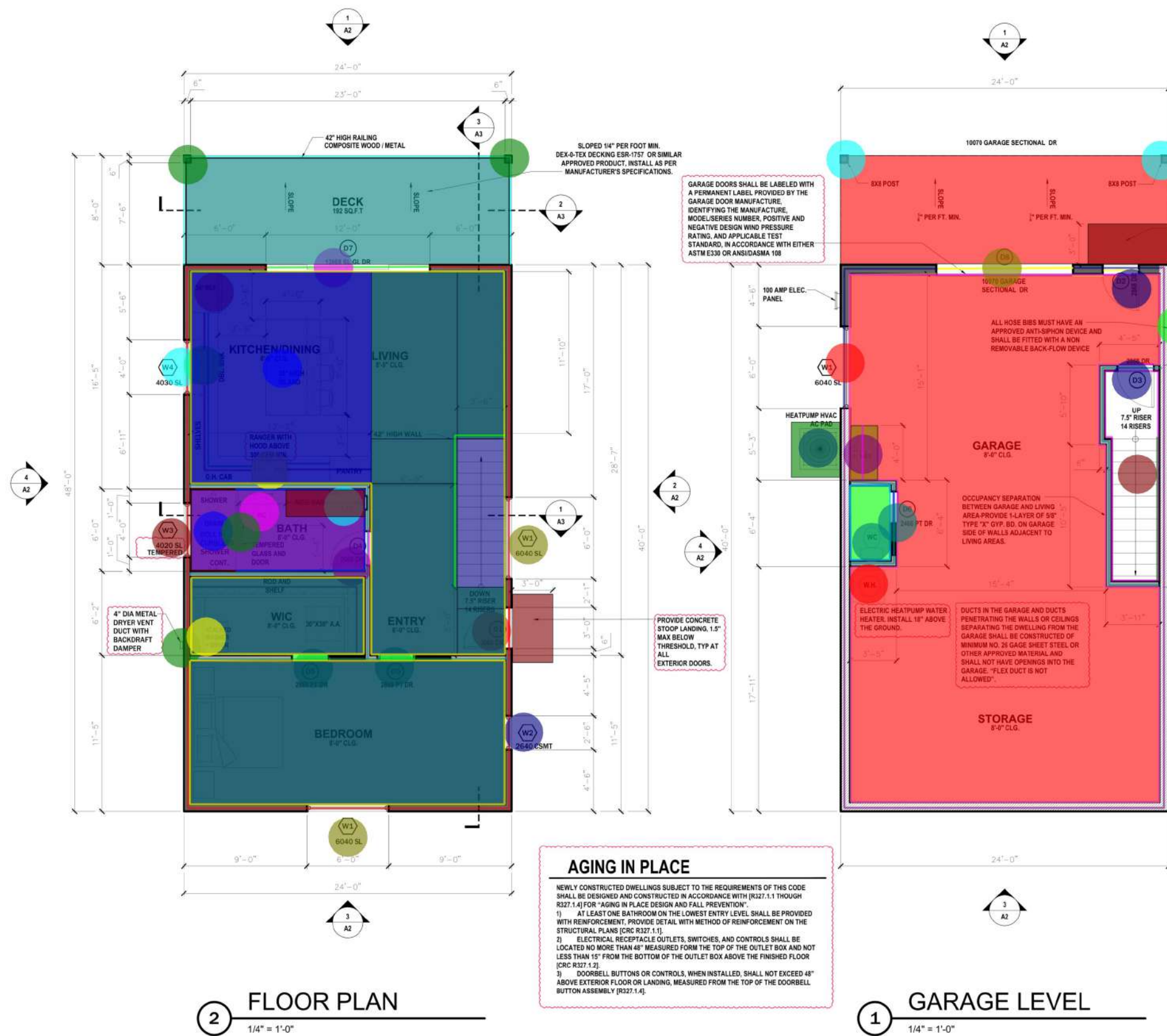
Building Data Summary	
Project ID:	New Detached ADU
Location:	*****
Scope of Work:	GC
Date:	Oct 02 , 2024



Construction Estimation Services

Item #	Ref. Sheet #	Item Description	Unit	Quantity	Wastage	Quantity w/ Wastage	Unit Material Cost	Total Material Cost	Unit Manhour	Hourly Wage	Unit Labor Cost	Total Labor Cost	Sub Cost	Total Trade Cost
208	E1	Exhaust Fan	EA	1	0%	1	\$ 185.00	\$ 185.00	0.250	\$ 40.00	\$ 10.00	\$ 10.00	\$ 195.00	
209		High Efficacy LED Wall Hung Light	EA	2	0%	2	\$ 235.20	\$ 470.40	0.400	\$ 40.00	\$ 16.00	\$ 32.00	\$ 502.40	
210		High Efficacy Recessed LED Light "IC Type & Air Tight"	EA	3	0%	3	\$ 175.20	\$ 525.60	0.190	\$ 40.00	\$ 7.60	\$ 22.80	\$ 548	
		First Floor												
		Power												
211		4-Way Switch	EA	2	0%	2	\$ 25.10	\$ 50.20	0.220	\$ 40.00	\$ 8.80	\$ 17.60	\$ 67.80	
212		Dimmer Switch	EA	3	0%	3	\$ 95.00	\$ 285.00	0.220	\$ 40.00	\$ 8.80	\$ 26.40	\$ 311.40	
213		Duplex Receptacle	EA	13	0%	13	\$ 21.20	\$ 275.60	0.260	\$ 40.00	\$ 10.40	\$ 135.20	\$ 410.80	
214		GFCI Duplex Receptacle	EA	12	0%	12	\$ 28.65	\$ 343.80	0.320	\$ 40.00	\$ 12.80	\$ 153.60	\$ 497.40	
215		Push Button	EA	1	0%	1	\$ 126.32	\$ 126.32	0.170	\$ 40.00	\$ 6.80	\$ 6.80	\$ 133.12	
216		Single Pole Switch	EA	7	0%	7	\$ 11.25	\$ 78.75	0.250	\$ 40.00	\$ 10.00	\$ 70.00	\$ 148.75	
217		Vacancy Sensor Switch	EA	2	0%	2	\$ 65.00	\$ 130.00	0.300	\$ 40.00	\$ 12.00	\$ 24.00	\$ 154.00	
218		Weatherproof GFCI Duplex Receptacle	EA	2	0%	2	\$ 35.65	\$ 71.30	0.310	\$ 40.00	\$ 12.40	\$ 24.80	\$ 96.10	
		Lighting												
219		Exhaust Fan	EA	2	0%	2	\$ 185.00	\$ 370.00	0.250	\$ 40.00	\$ 10.00	\$ 20.00	\$ 390.00	
220		High Efficacy LED Wall Hung Light	EA	3	0%	3	\$ 235.20	\$ 705.60	0.400	\$ 40.00	\$ 16.00	\$ 48.00	\$ 753.60	
221		High Efficacy Recessed LED Light "IC Type & Air Tight"	EA	21	0%	21	\$ 175.20	\$ 3,679.20	0.190	\$ 40.00	\$ 7.60	\$ 159.60	\$ 3,838.80	
222		High Efficiency LED Surface Mount Ceiling Light	EA	5	0%	5	\$ 235.20	\$ 1,176.00	0.400	\$ 40.00	\$ 16.00	\$ 80.00	\$ 1,256.00	
223		Smoke Detector	EA	2	0%	2	\$ 126.32	\$ 252.64	0.170	\$ 40.00	\$ 6.80	\$ 13.60	\$ 266.24	
224		VP High Efficacy Recessed LED Light "IC Type & Air Tight"	EA	1	0%	1	\$ 210.15	\$ 210.15	0.190	\$ 40.00	\$ 7.60	\$ 7.60	\$ 217.75	
		Allowance												
225		Allowance For Conduits & Wires	SF	1922	5%	2018	\$ -	\$ -	0.000	\$ -	\$ -	\$ -	\$ 3,773.85	
		Subtotal (Electrical)						\$ 11,359				\$ 1,187		\$ 16,320
TED COST														\$ 230,136
												INSURANCE	3%	\$ 6,904
												CONTINGENCY	5%	\$ 11,507
												OVERHEAD AND PROFIT	15%	\$ 34,520
												TAX	6.00%	\$ 9,242.06
STED BID														\$ 292,309
Note:														

- Please verify the equipment's and their prices with owner.
- Online sources are used for pricing.
- Prices can vary depending upon field conditions.



FLOOR PLAN NOTES

- 2X6 sTUD Wall Exterior 8'h 23.3 FT
- 8" CMU Wall 8'h 92.7 FT
- 2x4 Stud Wall 8'h R-15 Batt Insulation 36.8 FT
- Sealed Concrete Floor & 2 Layer 5/8" Type X Gypsum Board ... 974.9 SQ FT
- Tile Floor & 5/8" Type X MR Gypsum Board 15.8 SQ FT
- Rubber Base 121.0 FT
- Wall Tile 5'H 14.4 FT
- Wall Paint 8'H 176.9 FT
- Paint 3'-0"H 16.7 FT
- (3'-4" Wide) Wooden Stairs 1.0 EA
- 1-1/4" Dia Hand Rail 34" H 14.0 FT
- Lavatory Countertop 7.9 SQ FT
- Lavatory 1.0 EA
- Water Closet 1.0 EA
- Water Heater 1.0 EA
- 3/4" Hose Bibb 1.0 EA
- Threshold 12.6 FT
- Floor Transition 2.3 FT
- (2'-0" W) Lavatory Base Cabinets 3.9 FT
- 8x8 Post 8'H 2.0 EA
- 4" Concrete Stoop Landing 17.4 SQ FT
- 4" Concrete Pad For HVAC Unit 14.4 SQ FT
- (10'-0"x7'-0") Garage Door 1.0 EA
- (2'-8"x6'-8") Wooden Single Leaf Door W/ Frame 2.0 EA
- (2'-4"x6'-8") Wooden Sliding Door W/ Frame 1.0 EA
- (6'-0"x4'-0") Wooden Window W/ Frame 1.0 EA
- Hardwood Flooring 552.0 SQ FT
- Wood Base 137.4 FT
- Tile Flooring 279.7 SQ FT
- Floor Transition Strip 2.7 FT
- Wall Tile 5'h 22.3 FT
- Wall Tile 8'h 12.4 FT
- Tile Base 34.4 FT
- 2 Layer 1/2" Type "X" Gypsum Board Ceiling 792.7 SQ FT
- 5/8" Type "X" MR Gypsum Board Ceiling 74.7 SQ FT
- Wooden Deck & Deck Cover With Waterproof Membrane 184.0 SQ FT
- Threshold 3.2 FT
- 2x4 Low High Wall 3'-6"H 14.8 FT
- Wall paint 8'-0"H 256.5 FT
- Wall paint 3'-0"H 24.7 FT
- (12'-0"x6'-8") Sliding Glass Door 1.0 EA
- (4'-0"x3'-0") Sliding Window W/ Frame 1.0 EA
- (4'-0"x2'-0") Sliding Tempered Window W/ Frame 1.0 EA
- (4") Metal Dryer Vent Duct With Backdraft Damper 2.0 EA
- (6'-0"x4'-0") Sliding Window W/ Frame 1.0 EA
- (2'-6"x4'-0") Casement Window W/ Frame 1.0 EA
- (2'-6"x6'-8") Wooden Door W/ Frame 1.0 EA
- (2'-8"x6'-8") Wooden PT Sliding Door W/ Frame 2.0 EA
- (3'-0"x6'-8") Wooden Single Leaf Door W/ Frame 1.0 EA
- (1'-6" W) Wlax In Closet W/ Rod & Shelf 17.0 FT
- Washer+ Dryer 1.0 EA
- (3'-4"x6'-0") Shower Compartment W/ Floor Drain & Shower Head 1.0 EA
- Water Closet 1.0 EA
- Lavatory 1.0 EA
- Lavatory Countertop 11.2 SQ FT
- (6'-0"x6'-0") Tempered Glass & Door 1.0 EA
- (2'-0" W) Lavatory Base Cabinets 5.8 FT
- (2'-0" W) Pantry 3.1 FT
- (1'-0" W) Overhead Cabinet 15.4 FT
- (2'-0" W) Wooden Base Cabinet 17.6 FT
- Refrigerator 1.0 EA
- Kit Double Sink 1.0 EA
- Stove 1.0 EA
- (4'-0"x7'-0") Kit Island 1.0 EA
- Composite Wood Metal Railing 42"H 39.9 FT
- 4" Concrete Stop Landing 14.6 SQ FT
- 6x6 Post 7'-3"H W/ (2) MST60 Strap Simpson 2.0 EA
- 2x4 Stud Wall Interior 8'-0"H 62.6 FT
- 2X6 Exterior Stud Wall 8'-0"H 114.4 FT
- 2X6 sTUD Wall Exterior 1'h 11.8 FT
- 2X6 sTUD Wall Exterior 1'h 9.9 FT
- Heat Pump HVAC 1.0 EA

LEGEND

	NEW WALL 2X6 STUDS @ 16" O.C.
	NEW WALL 2X4 STUDS @ 16" O.C.
	NEW 8" BLOCK WALL

XAVIER DESIGN GROUP

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PROJECT:

NEW DETACHED ADU
31998 VIA DEL SENOR
HOMELAND, CA 92548

CONSULTANT:

REVISIONS:

FLOOR PLAN

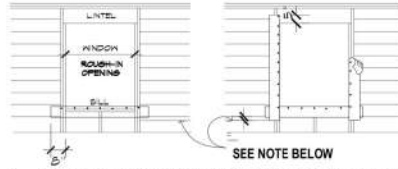
A1

ELEVATIONS NOTES

1. WEATHER RESISTIVE BARRIERS APPLIED OVER WOOD BASE SHEATHING SHALL INCLUDE 2 LAYERS OF GRADE D PAPER.
2. WINDOW SILL HEIGHT IN THE BEDROOMS FOR EMERGENCY ESCAPE SHALL BE NOT MORE THAN 44" ABOVE FLOOR.
3. A CORROSION RESISTANT WEEP SCREED WHICH WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING IS REQUIRED BELOW THE STUCCO AT THE FOUNDATION PLATE LINE.
4. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN THE BUILDING'S ENVELOPE AT EXTERIOR WALLS WILL BE PROTECTED AGAINST THE PASSAGE OF RODENTS (I.E. CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR METAL PLATES.)
5. GUTTERS SHALL BE DESIGNED TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS

WINDOW FLASHING

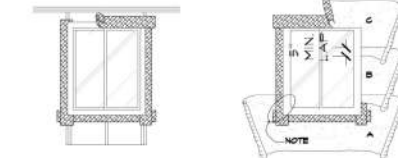
"EXTERIOR OPENINGS EXPOSED TO THE WEATHER SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WATERPROOF"



1. ATTACH SILL STRIP WITH TOP EDGE LEVEL WITH ROUGH SILL. EXTEND BEYOND EDGE OF ROUGH OPENING AT LEAST 8". SECURE ALL MOIST STOP (OR EQUAL) WITH GALVANIZED NAILS OR POWER-DRIVEN STAPLES.
2. ATTACH JAMB STRIP WITH SIDE EDGE EVEN WITH ROUGH-JAMB FRAMING. START STRIP 1" BELOW LOWER EDGE OF SILL STRIP AND EXTEND 4" ABOVE LOWER EDGE OF LINTEL.

NOTE: LINE-WIRE, WHEN USED AS BACKING TO SUPPORT BUILDING PAPER BENEATH WIRE LATH (NETTING) FOR PORTLAND CEMENT PLASTER (STUCCO), SHALL BE INSTALLED AS FOLLOWS:

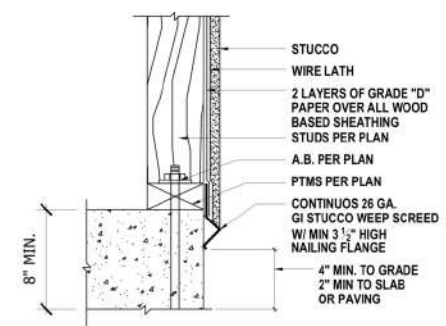
1. WIRE GAUGE, SPACING, AND ATTACHMENT SHALL BE IN ACCORDANCE WITH REQUIREMENTS OF BUILDING NEWS ITEMS 47-1.
2. PERIPHERAL FLASHING, AT ALL EDGES OF WALL OPENINGS, MUST COVER THE WIRE BACKING.
3. NO ATTACHMENT DEVICES NOR THE WIRE BACKING SHALL COVER OR PENETRATE THE FLASHING MATERIAL.



3. INSTALL WINDOW JAMB NAILING FLANGES OVER A CONTINUOUS BEAD OF SEALANT ON THE MOIST STOP (OR EQUAL). INSTALL THE WINDOW HEAD MOIST STOP (OR EQUAL) ON A CONTINUOUS BEAD OF SEALANT APPLIED TO THE WINDOW HEAD NAILING FLANGE.
4. COMMENCING AT THE BOTTOM (SOLE PLATE) OF THE WALL, LAY BUILDING PAPER UNDER SILL STRIP. NOTE: CUT ANY EXCESS BUILDING PAPER THAT MAY EXTEND ABOVE THE SILL FLANGE LINE. DO NOT SLICE BUILDING PAPER HORIZONTALLY SO THAT PAPER WILL LAP OVER THE JAMB STRIPS. INSTALL SUCCESSIVE LINES OF BUILDING PAPER (B.C.D. ETC.) OVER JAMB AND HEAD FLANGES, LAPPING EACH COURSE.

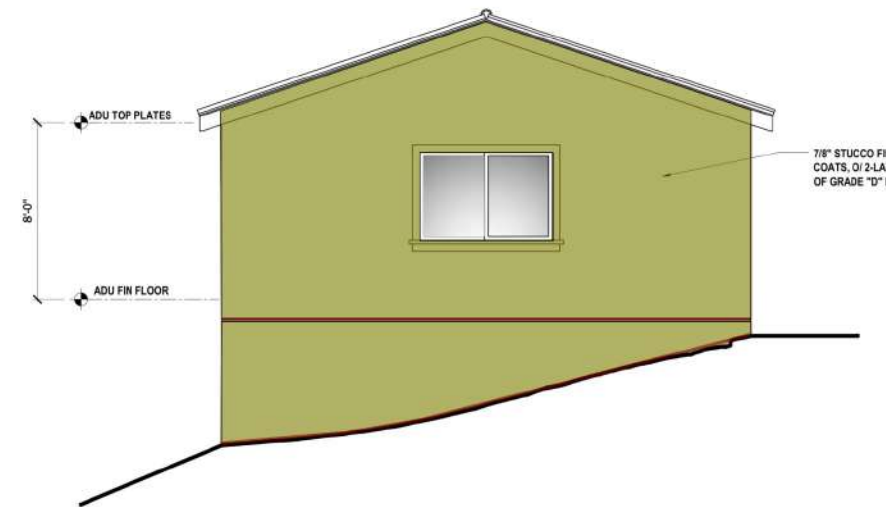
THE ABOVE METHOD APPLIES ONLY TO THE MOST COMMONLY USED TYPE OF METAL FRAME (SURFACE MOUNTED). FOR OTHER TYPES OF FRAMES, SPECIAL ATTENTION MUST BE PAID TO THE MANUFACTURER'S RECOMMENDATIONS. HEAD AND JAMB INSTALLATION IS TYPICAL FOR SLIDING GLASS DOORS. NOTE: LAP JAMB, MOIST STOP OVER PLASTER SCREED NAILING FLANGE. INSTALL WINDOWS PER MANUFACTURER RECOMMENDATIONS SILICON SEAL ALL WINDOW FRAME JOINTS AT EXTERIOR FRAME LOCATIONS AFTER WINDOW IS INSTALLED PRIOR TO FINISH MATERIAL INSTALLATION.

STUCCO SCREED



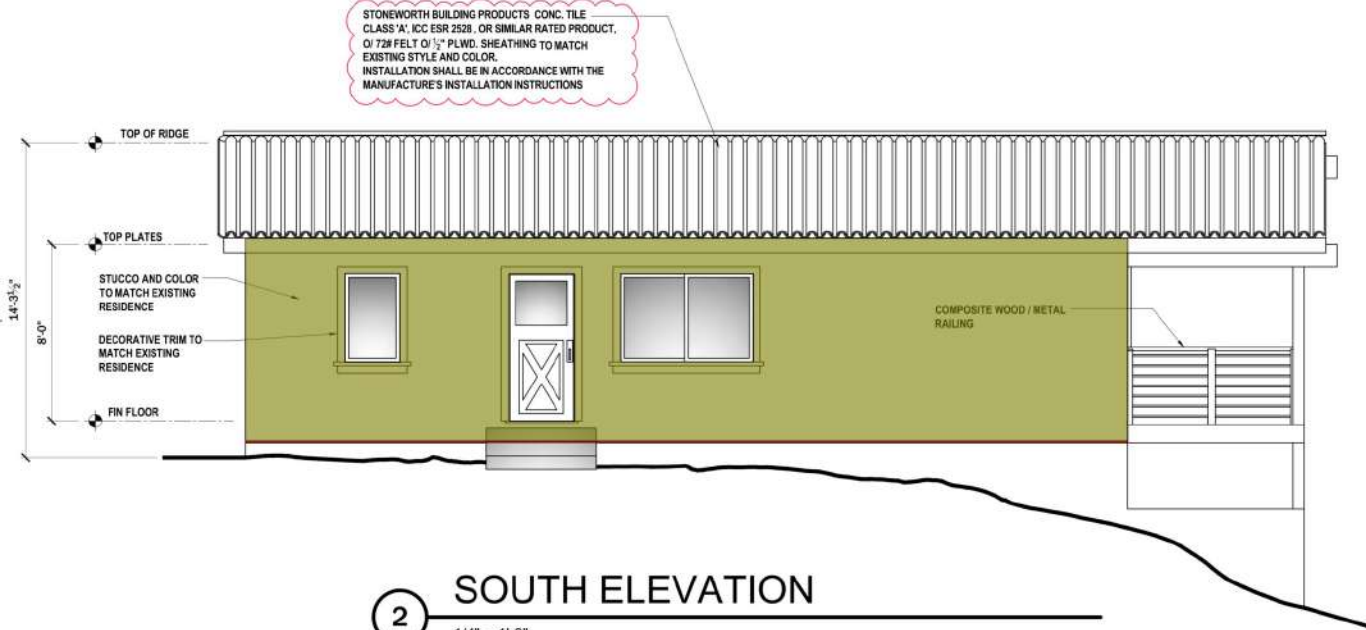
1 EAST ELEVATION

1/4" = 1'-0"



3 WEST ELEVATION

1/4" = 1'-0"

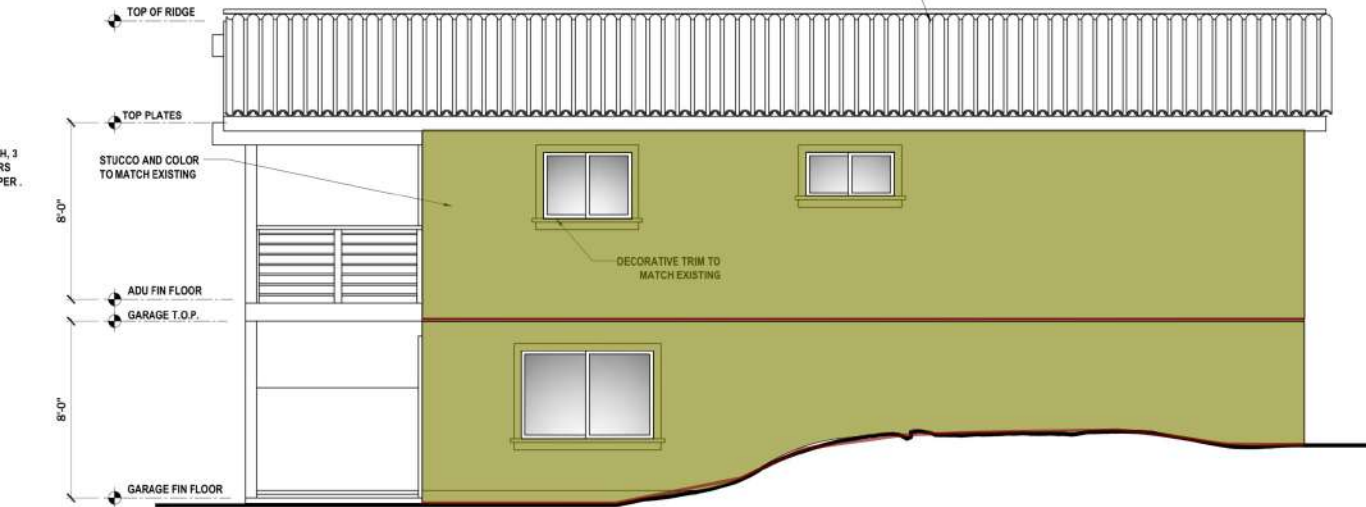


2 SOUTH ELEVATION

1/4" = 1'-0"

EXTERIOR GARAGE DOORS SHALL RESIST THE INTRUSION OF EMBERS FROM ENTERING BY PREVENTING GAPS BETWEEN DOORS AND DOOR OPENINGS, AT THE BOTTOM, SIDES, AND TOPS OF DOORS FROM EXCEEDING 1/8 INCH. GAPS SHALL BE CONTROLLED BY ONE OF THE FOLLOWING METHODS:

- a. WEATHER-STRIPPING PRODUCTS MADE OF MATERIALS THAT HAVE BEEN TESTED FOR TENSILE STRENGTH IN ACCORDANCE WITH ASTM D638 AFTER EXPOSURE TO ASTM G155 FOR A PERIOD OF 2,000 HOURS, WHERE THE MAXIMUM ALLOWABLE DIFFERENCE IN TENSILE STRENGTH VALUES BETWEEN EXPOSED AND NONE EXPOSED SAMPLES DOES NOT EXCEED 10% AND EXHIBIT A V-2 OR BETTER FLAMMABILITY RATING WHEN TESTED TO UL 94.
- b. DOOR OVERLAPS ONTO JAMBS AND HEADERS.
- c. GARAGE DOOR JAMBS AND HEADERS COVERED WITH METAL FLASHING



4 NORTH ELEVATION

1/4" = 1'-0"

7/8" Stucco Finish (3... 1496.7 SQ FT
Strucco Screed Veep 193.2 FT

RECEPTACLES SHALL BE INSTALLED VERTICALLY AT 12" (APPROX.) ABOVE FLOOR.

WALL SWITCHES ARE TO BE MOUNTED AT 42" ABOVE THE FLOOR, UNLESS NOTED OTHERWISE BY THE DESIGNER.

RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 12" FROM A RECEPTACLE.

IN KITCHEN AND DINING AREAS, A RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH COUNTER SPACE MORE THAN 12 INCHES AND SO THAT NO POINT ALONG THAT WALL LINE IS MORE THAN 24 INCHES FROM A RECEPTACLE IN THAT SPACE.

A RECEPTACLE OUTLET SHALL BE INSTALLED IN ANY USABLE WALL, SPACE 2 FEET OR MORE IN WIDTH.

NO MORE THAN 20 AMPERE SMALL APPLIANCE CIRCUITS AT THE KITCHEN. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS.

ALL LUMINAIRES SHALL BE HIGH EFFICACY AND SHALL BE CONTROLLED BY AN OCCUPANT SENSOR OR DIMMER. CLOSETS THAT ARE LESS THAN 70 SQ. FT. ARE EXEMPT FROM THIS REQUIREMENT. OCCUPANCY SENSORS MUST HAVE NO MANUAL OVERRIDE, 30 MIN. MAX. TIME, AND BE MICROWAVE/ULTRASONIC OR PASSIVE INFRARED TYPE OCCUPANCY SENSOR LAZY PUT MUST BE SHOWN ON PLANS.

HIGH EFFICACY LUMINAIRES MUST BE PIN BASED.

ALL EQUIPMENT INSTALLED OUTDOORS AND EXPOSED TO WEATHER SHALL BE "WEATHER PROOF".

OUTDOOR BUILDING LIGHTS HAVE A MOTION SENSOR ON AND PHOTO-CELL SENSOR OFF.

BATHROOM CIRCUITING SHALL BE EITHER: A) A 20 AMPERE CIRCUIT DEDICATED TO EACH BATHROOM. B) AT LEAST ONE 20 AMPERE CIRCUIT SUPPLYING ONLY BATHROOM RECEPTACLES OUTLETS.

GENERAL PURPOSE LIGHTING FIXTURES IN BATHROOMS SHALL BE SHOWER SHOWER HAVE LAMPS WITH EFFICACY OF AT LEAST 40 LUMEN PER WATT W/ VACUANCY SENSOR SWITCH.

CONDUCTORS NORMALLY USED TO CARRY CURRENT SHALL BE COPPER. FOR ALUMINUM AND COPPER-CLAD ALUMINUM #6 AWG AND LARGER. EXCEPTION: ALUMINUM CONDUCTORS SMALLER THAN #6 AWG MAY BE USED PROVIDED THE METHOD OF CONNECTION IS APPROVED IN ADVANCE BY THE BUILDING OFFICIAL AND THE INSTALLER IS MARKED UNDER CONTINUOUS DUTY AND CORROSION RESISTANCE.

ALL 120 VOLT, 15-20 AMP RECEPTACLES SHALL BE LISTED TAMP-RESISTANT RECEPTACLES.

ANY FIXED APPLIANCE SUCH AS DISPOSAL, DISHWASHER, CLOTHES WASHER, DRYER, BUILT-IN HEATERS, OR ANY OTHER FIXED APPLIANCE WITH 1/2 HP MOTOR OR LARGER, SHALL BE ON A SEPARATE #12 AWG WIRE BRANCH CIRCUIT. EACH DWELLING UNIT SHALL HAVE INSTALLED THEREIN AN INDIVIDUAL DISCONNECT CIRCUIT SUPPLIED WITH #12 AWG WIRE OVERHEAD AND A 15 AMP INDICATING TYPE SWITCH.

SURFACE MOUNTED LIGHTING FIXTURES SHALL BE AT LEAST 12" FROM A STORAGE AREA AND FLUSH MOUNTED LIGHTING FIXTURES SHALL BE AT LEAST 6" FROM A STORAGE AREA.

ARC-FAULT CIRCUIT INTERRUPTER (AFCI) A DEVICE INTENDED TO PROVIDE PROTECTION FROM THE EFFECTS OF ARC FAULTS BY RECOGNIZING CHARACTERISTICS UNIQUE TO ARCING AND BY FUNCTIONING TO DEENERGIZE THE CIRCUIT WHEN AN ARC FAULT IS DETECTED.

DWELLING UNITS, A SEPARATE 20 AMPERE SINGLE-PHASE 120/240 VOLT BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES INSTALLED IN DWELLING UNIT KITCHEN, FAMILY ROOM, DINING ROOMS, LIVING ROOMS, PORCHES, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY ROOMS OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.

ALL WIRING RATED 600 VOLTS OR ABOVE SHALL BE INSTALLED IN A SEPARATE 20 AMPERE CIRCUIT. THE RACEWAY SHALL NOT BE LESS THAN TRADE 1 (NOMINAL 1-1/2 INCH INSIDE DIAMETER) THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR SUBPANEL AND SHALL TERMINATE INTO A LISTED CABINET, BOX OR OTHER ENCLOSURE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF AN EV CHARGER. THE SERVICE PANEL AND/OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40 AMP MIN. DEDICATED BRANCH CIRCUIT AND BE PROTECTED BY A 60 AMP OVERCURRENT PROTECTIVE DEVICE.

THE SERVICE PANEL SHALL IDENTIFY AN OVERCURRENT PROTECTIVE DEVICE SPACE RESERVED FOR FUTURE EV CHARGING AS "EV CAPABLE". THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS "EV CAPABLE".

SERVICE CONDUCTORS SUPPLYING A BUILDING OR OTHER STRUCTURES SHALL NOT PASS THROUGH THE INTERIOR OF ANOTHER BUILDING OR STRUCTURE.

VERIFY RECEPTACLES ARE IN ACCORDANCE WITH [CFC 210.52].

WHEN DETERMINING THE DISTANCE FROM GFCI RECEPTACLES, THE DISTANCE SHALL BE MEASURED AS THE SHORTEST PATH THE SUPPLY CORD OF AN APPLIANCE CONNECTED TO THE RECEPTACLE WOULD FOLLOW WITHOUT PIERCING A FLOOR, WALL, CEILING, OR FIXED BARRIER, OR THE SHORTEST PATH WITHOUT PASSING THROUGH A WINDOW [CFC 210.8].

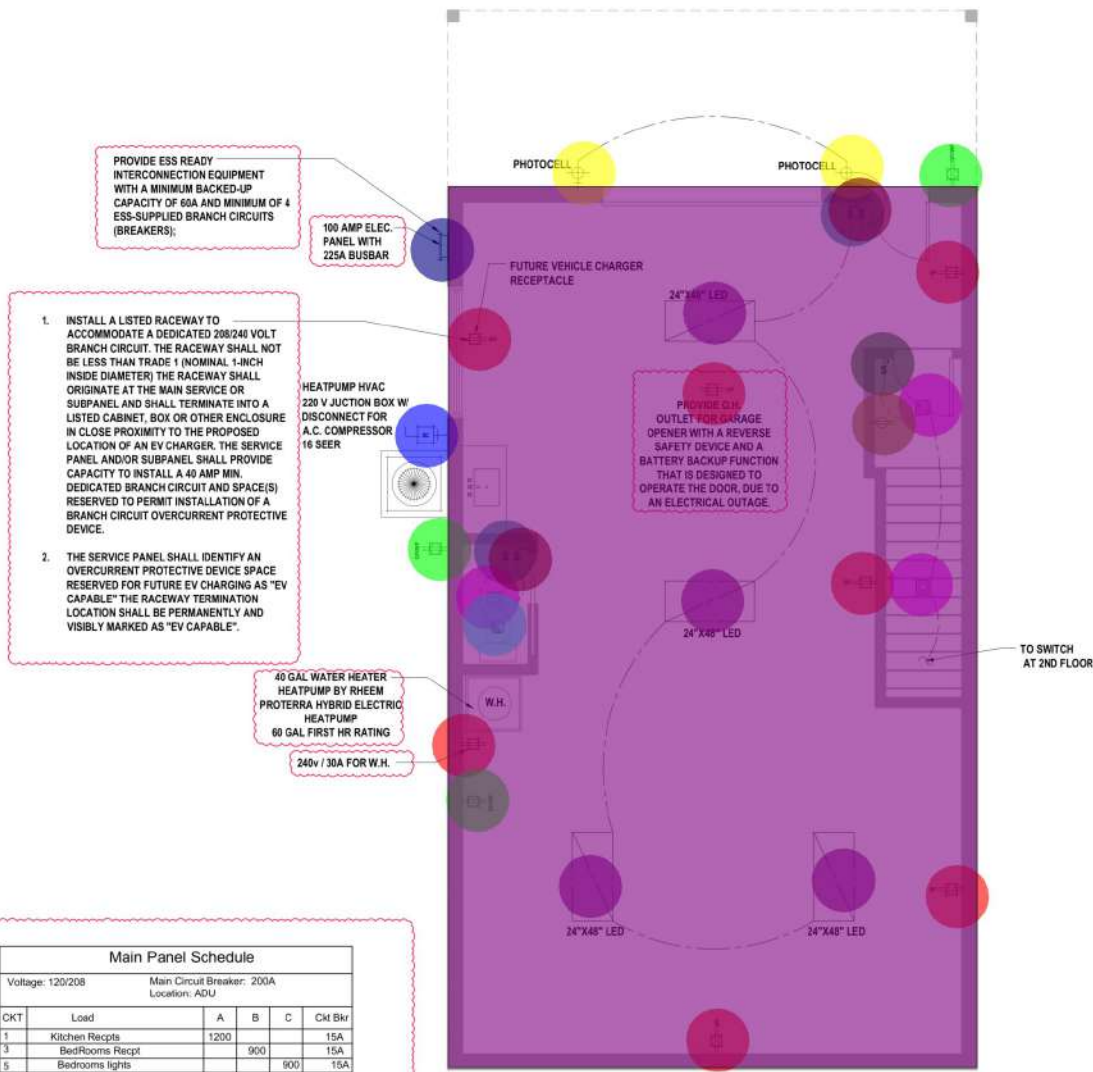
RECEPTACLE OUTLETS IN OR ON FLOORS SHALL NOT BE COUNTED AS PART OF THE REQUIRED NUMBER OF RECEPTACLE OUTLETS UNLESS LOCATED WITHIN 18" OF THE WALL [CFC 210.52(A)(3)].

EACH ELECTRIC READY ITEM REQUIRES BREAKER SPACE AND LABELING IN THE PANEL FOR "FUTURE USE".

1. DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENTS OPENING SHALL BE COVERED DURING CONSTRUCTION WITH PLASTIC OR SHEET METAL.
2. WRAP OR PROTECT EQUIPMENT STORED ON THE JOBSITE FOR FUTURE INSTALLATION.
3. IF NECESSARY PLAN FOR ALTERNATE SPACE CONDITIONING SYSTEMS DURING CONSTRUCTION.
4. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS.
5. CONDENSATE LINES FROM MECHANICAL EQUIPMENT SHALL DISCHARGE TO A PLUMBING FIXTURE OR STORM DRAIN BY MEANS OF AN INDIRECT WASTE PIPE. CONDENSATE LINES SHALL NOT TERMINATE IN LANDSCAPE OR YARD AREAS.
6. CLOTHES DRYER EXHAUST DUCTS SHALL TERMINATE TO THE OUTSIDE OF THE BUILDING IN ACCORDANCE WITH SECTION 502.2.1 AND SHALL BE EQUIPPED WITH A BACKDRAFT DAMPER. SCREENS SHALL NOT BE INSTALLED AT THE DUCT TERMINATION.
7. EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND SHALL BE EQUIPPED WITH BACKDRAFT DAMPER OR MOTORIZED DAMPERS THAT AUTOMATICALLY SHUT WHERE THE SYSTEMS OR SPACES SERVED ARE NOT IN USES.
8. ENVIRONMENTAL AIR DUCT EXHAUST SHALL TERMINATE NOT LESS THAN 3 FEET FROM PROPERTY LINE, 10 FEET FROM A FORCED AIR INLET, AND 3 FEET FROM OPENING INTO THE BUILDING. ENVIRONMENTAL EXHAUST DUCT SHALL NOT DISCHARGE ONTO A PUBLIC WALKWAY.
9. EXHAUST OPENINGS TERMINATING TO THE OUTDOORS SHALL BE COVERED WITH CORROSION RESISTANT SCREEN HAVING NOT LESS THAN 1/4" OPENINGS AND SHALL HAVE NOT MORE THAN 1/2" OF AN OPENINGS.

	HIGH EFFICACY LED WALL MOUNT MULTI-LIGHT FIXTURE
	HIGH EFFICACY LED WALL HUNG LIGHT FIXTURE
	HIGH EFFICACY LED SURFACE MOUNT CEILING LIGHT FIXTURE
	VAPOR PROOF LED SURFACE MOUNT CEILING LIGHT FIXTURE
	HIGH EFFICACY RECESSED LED LIGHT FIXTURE, "IC" TYPE AND AIR TIGHT.
	IAQ FAN - BY NUTONE ULTRA GREEN MODEL ZN90 0.3-SONES 80 CFM - VENTED TO OUTSIDE AIR ENERGY STAR RATED, FAN SHALL OPERATE CONTINUOUSLY WITHOUT ON/OFF SWITCH.
	SMOKE DETECTOR AND CARBON MONOXIDE INTERCONNECTED
	SWITCH
	LIGHT SWITCH WITH VACANCY SENSOR
	3-WAY SWITCH
	DIMMER SWITCH
	110 V CONV DUPLEX OUTLET
	110 V CONV DUPLEX OUTLET - HALF HOT
	220V OUTLET
	GROUND FAULT INTERRUPTED DUPLEX OUTLET
	WEATHERPROOF GROUND FAULT INTERRUPTED DUPLEX OUTLET W/ IN USE COVER.
	A/C DISCONNECT. 30" CLR. IN FRONT, 15" CLR. EA. SIDE
	MINI SPLIT HEAT PUMP CEILING CASSETTE INDOOR UNIT BY LG OR SIMILAR PRODUCT
	CEILING FAN WITH LED LIGHTS

E1


$$1/4'' = 1'-0''$$

NUMBER OF BEDROOMS	0-1	2-3	4-5	6-7
<1500 SQ. FT.	30	45	60	75
1501-3000	45	60	75	90
3001-4500	60	75	90	105
4501-6000	75	90	105	135

INSTALLATION TIPS:

1. USE WIDE ALUMINUM FOIL OR DUCT TAPE UL 181 TO JOIN SMOOTH METAL DUCTWORK SEAMS.
2. DO NOT LET FLEXIBLE DUCTWORK SAG AS THIS IMPEDES AIRFLOW.
3. BEFORE ADDING AN ELBOW OR BEND, ALLOW 24" TO 36" OF STRAIGHT RUN FROM THE FAN OUTLET POINT.
4. DUCT-WRAP INSULATION (R-5 OR ABOVE) WILL HELP MINIMIZE CONDENSATION IN COLD CLIMATES, ESPECIALLY ON LONG DUCT RUNS.
5. EXIT VENTS SHOULD HAVE BACKDRIFT FLAPS TO HELP KEEP COLD AIR FROM ENTERING DUCT.

1. WATER PIPING MATERIALS WITHIN A BUILDING SHALL BE IN ACCORDANCE WITH SEC 604.1 OF THE CPC. CPVC AND OTHER PLASTIC SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SEC. 604 OF THE CPC, THE INSTALLATION STANDARDS OF APPENDIX I OF THE CPC AND MANUFACTURERS RECOMMENDED INSTALLATION STANDARDS. CPVC WATER PIPING REQUIRES A CERTIFICATION OF COMPLIANCE AS SPECIFIED IN SEC. 604.1.1 OF THE CPC PRIOR TO PERMIT ISSUANCE.
2. SHOWER VALVES SHALL BE LISTED, PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDES SCALD PROTECTION AND LIMITS WATER TEMPERATURE TO 120o F.

BUILDING DRAIN AND VENT PIPING MATERIALS SHALL COMPLY WITH SECTIONS 701.0 AND 903.0 OF THE CALIFORNIA BUILDING CODE.

ALL SANITARY SYSTEM MATERIALS SHALL BE LISTED BY AN APPROVED LISTING AGENCY

EACH VENT SHALL RISE VERTICALLY TO A POINT NOT LESS THAN SIX INCHES ABOVE THE FLOOD LEVEL RIM OF THE FIXTURE SERVED BEFORE OFFSETTING HORIZONTALLY OR BEFORE BEING CONNECTED TO ANY OTHER VENT.

STANDPIPES SHALL EXTEND A MINIMUM OF 18 INCHES AND MAX. OF 42" ABOVE THE TRAP WEIR.

INSPECTOR TO VERIFY NUMBER OF TOILETS AND SIZE OF MAIN WASTE PIPE. NO MORE THAN 3 WATER CLOSETS ARE ALLOWED ON A 3" WASTE PIPE.

BASEMENTS AND FLOORS BELOW THE STREET FLOW LINE ARE REQUIRED TO HAVE A DRAINAGE SUMP, PUMPS, AND BACKWATER VALVE

Main Panel Schedule					
Voltage: 120/208		Main Circuit Breaker: 200A Location: ADU			
OKT	Load	A	B	C	Ckt Brk
1	Kitchen Recepts	1200			15A
3	BedRooms Recept		900		15A
5	Bedrooms lights			800	15A
7	Rear Patio Lights	1200			15A
9	Kitchen Lights		1000		15A
11	Garage/Entry Recepts			1000	15A
13	Garbage Disposer	1200			15A
15	Bathrooms		1000		15A
17	front Lights			900	15A
19	FAU Heat pump	1200			30A
21	condenser		2900		30A
23	Garage Door Opener			1000	15A
25	Dinning/room lights	1000			15A
27	garage lights		900		15A
29	electric washer / dryer			1400	15A
31	Dinning/room repts	1000			15A
33	range / oven / cooktop		1400		30A

- High Efficiency LED Surface Mount Ceiling Light
- High Efficacy LED Wall Hung Light
- Duplex Receptacle
- GFCI Special Receptacle
- Exhaust Fan
- GFCI Duplex Receptacle
- Weatherproof GFCI Duplex Receptacle
- High Efficacy Recessed LED Light "IC Type & Air Tight"
- VP High Efficacy Recessed LED Light "IC Type & Air Tight"
- Single Pole Switch
- Push Button
- Smoke Detector
- 4-Way Switch
- Dimmer Switch
- Vacancy Sensor Switch
- Allowance For Conduits & Wires
- (2'x4') LED Ceiling Light
- Single Pole Switch
- GFCI Duplex Receptacle
- Weatherproof GFCI Duplex Receptacle
- High Efficacy LED Wall Hung Light
- Disconnect Switch
- High Efficacy Recessed LED Light "IC Type & Air Tight"
- Exhaust Fan
- Vacancy Sensor Switch
- 4-Way Switch
- Duplex Receptacle
- 100 AMP Electrical Panel With 225A Busbar
- Allowance For Conduits & Wires

1/4" = 1'-0"

DOMESTIC VENT FOR COMBUSTION AIR

TYPE "B" VENT

FURNACE

FURNACE AIR EXCHANGE

CEILING MOUNTED LIGHT

PROVIDE CONVENIENCE OUTLET WITHIN 12" OF EQUIPMENT

32"x32" MIN. ATTIC ACCESS

ATTIC LIGHT SWITCH

12" MIN. CLEARANCE

36" MIN. WORKING SPACE

32"x32" MIN. ATTIC ACCESS

ATTIC LIGHT SWITCH

12" MIN. CLEARANCE

36" MIN. WORKING SPACE

963.7 SQ FT

1. ACCESS TO FURNACE MUST BE LARGE ENOUGH TO PERMIT REMOVAL OF THE LARGEST PIECE OF FURNACE 36" MIN.

2. PASSAGEWAY TO THE ATTIC FURNACE SHALL BE UNOBSTRUCTED & HAVE CONTINUOUS SOLID FLOORING NOT LESS THAN 34" WIDE. THE PASSAGEWAY SHALL BE AS LARGE AS THE LARGEST PIECE OF EQUIPMENT.

3. MAX DISTANCE OF F.A.U. TO SCUTTLES IS 39'-4"

4. FURNACE MUST BE APPROVED FOR ATTIC INSTALLATION BY AN APPROVED TESTING LABORATORY.

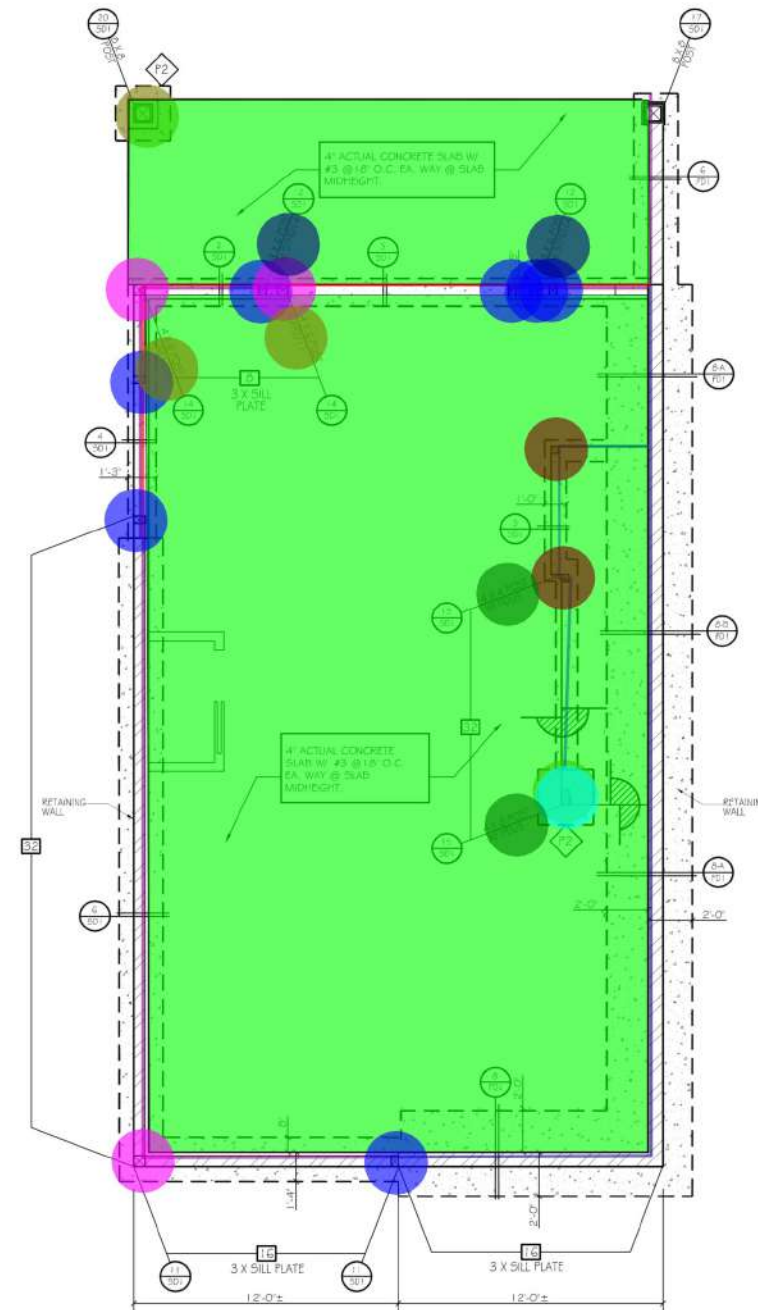
5. PROVIDE MIN. 18" DEEP UNOBSTRUCTED WORKING SPACE IN FRONT OF FURNACE.

6. PROVIDE A SECONDARY WATER TIGHT CORROSION RESISTANT METAL PAN BELOW CONDENSATE PRODUCING EQUIPMENT INSTALLED IN THE ATTIC. THE SECONDARY DRAIN LINE MUST BE SHOWN ON A POINT WHERE IT CAN BE READILY OBSERVED.

7. FAU CLOSET OR ALCOVE MUST BE 12" WIDER THAN THE FURNACES BEING INSTALLED.

8. INCLUDE SEISMIC BRACES ON ANCHORS UNITS TO PLATEFORM.

957.3 SQ FT



FOUNDATION PLAN

• (2'-6" Sq x 1'-6" D) Reinf Concrete Pad	2.0 EA
• (4'-0"x1'-6") Reinf Concrete Wall Footing	50.9 FT
• (2'-0"x1'-6") Reinf Concrete Wall Footing	48.4 FT
• (1'-0"x1'-6") Reinf Concrete Wall Footing	19.2 FT
• (1'-6"x1'-6") Reinf Concrete Wall Footing	34.5 FT
• 4" Reinf. Concrete Slab W/ #3@18" O.C.EW	1078.4 SQ FT
• 4x6 Post 8'-0"HW/ (3) CS16 Strap Simpson	7.0 EA
• 6x6 Post 8'-0"HW/(2) MST60 Strap Simpson	3.0 EA
• 4x8 Post 8'-0"HW/ (2) CS16 Strap Simpson	1.0 EA
• 4x4 Post 8'-0"H W/ (1) MST60 Simpson Strap	2.0 EA
• "H DU5" Holdown	2.0 EA
• "H DU11" Holdown	2.0 EA
• "STHD14" Simpson	2.0 EA
• 3x6 Pressure Treated Wood Plate	24.4 FT

List of work requiring special inspection:

	CONTINUOUS INSPECTION	PERIODIC INSPECTION
☒ SOILS COMPLIANCE PRIOR TO FOUNDATION INSPECTION		X
☒ STRUCTURAL CONCRETE OVER 2500 psi	X	
☒ STRUCTURAL SHEAR PANELS (TYPE 3, 4, 5, & 6)		X
☒ FIELD WELDING	X	
☒ EXPANSION/ EPOXY ANCHORS	X	

FOUNDATION NOTES

1. ALL CONTINUOUS EXTERIOR AND INTERIOR BEARING WALLS FOOTINGS (SHEAR & NON-SHEAR) SHALL HAVE 50# DIAMETER X 12" A.S. WITH 3" X 3" X 0.25" WASHERS, MIN. 7" EMBEDMENT INTO CONCRETE, AT 22" O.C. UNLESS NOTED OTHERWISE ON PLANS. ONE ANCHOR BOLT SHOULD BE LOCATED MAX. 12" AWAY FROM THE END OF THE SILL PLATES, MIN. (2) A.S. PER SILL PLATE FOR SHEAR PANEL.
2. ALL INTERIOR NON-BEARING WALLS SHALL HAVE 1/2" X 1/2" WITH MIN. PENETRATION OF 1" INTO SLAB, AT 24" O.C. UNLESS NOTED. OTHERWISE TO BE INSTALLED IN ACCORDANCE WITH ICC NUMBER ESR-2269, ACTUAL SLAB THICKNESS SHALL BE MINIMUM 3-1/2".
3. ALL HOLDOWNS AND POST ANCHORS SHALL BE INSTALLED ACCORDING TO SIMPSON STRONG TIE SPECIFICATIONS AND REQUIREMENTS OF ICC ESR # 2330 AND SHALL BE TIED IN PLACE PRIOR TO FOUNDATION INSPECTION.
4. MIN. CONCRETE WIDTH SHALL BE 8" FOR RECEIVING MPAs, AND 311014a. VERIFY LOCATIONS OF HOLDOWNS AND ANCHOR BOLTS WITH ROUGH FRAMING TO ASSURE PROPER AND ACCURATE INSTALLATION.
5. PROVIDE #3/24" DOWLS AT 34" O.C. AND 12" FROM THE CORNER AT ALL CONCRETE SLOOP AND JOINTS.
6. WAITING PERIOD FOR CONCRETE SLAB-ON-GRADE PRIOR TO START OF CONSTRUCTION IS AS FOLLOWS:
 - a. WALK ON SLAB 24 HOURS AFTER CONCRETE HAS BEEN POURED.
 - b. BEGIN WALL FRAMING 4-5 DAYS AFTER CONCRETE POUR.
 - c. BEGIN ROOF FLOOR FRAMING 7-10 DAYS AFTER CONCRETE POUR.
 - d. DO NOT LOAD ROOF PRIOR TO 14 DAYS AFTER CONCRETE POUR.
7. CONCRETE STRENGTH SHALL BE MINIMUM 2500 PSI.
8. FOUNDATION DRAWING SHALL REFLECT THE STRUCTURAL REQUIREMENT ONLY. REFER TO ARCHITECTURAL PLANS FOR DIMENSIONS NOT SHOWN. ACCURACY OF THE DIMENSIONS AND FINAL FIT OF THE BUILDING SHALL BE REVIEWED BY THE ARCHITECT AND THE CONTRACTOR PRIOR TO CONSTRUCTION.
9. VERIFY ALL DIMENSIONS SHOWN WITH ARCHITECTURAL PLANS. NOTIFY ARCHITECT OF ANY INCONSISTENCY.
10. THE MAXIMUM SOIL BEARING PRESSURE IS 1500 PSF. PER CDC TABLE 1506.2.
11. DEEPEN FOOTING @ HARDY FRAME AS REQUIRED TO ACHIEVE THE A.S. DEPTH + 3" COVER.
12. NO SOIL REPORT PROVIDED AT THE TIME OF STRUCTURAL DESIGN.

PAD SCHEDULE

- 10 2'-6" SQ. X 1'-6" DEEP PAD W/ 3" #4 A.S. @ BOTTOM

SYMBOLS LEGEND

	PAD NUMBER
	ANCHOR BOLT NUMBER
	RETAINING WALL
	EXTERIOR FOUNDATION
	INTERIOR FOUNDATION



ANCHOR BOLT SCHEDULE

2	MIN. (2)-5/8" DIAMETER X 12" ANCHOR BOLTS
3	MIN. (3)-5/8" DIAMETER X 12" ANCHOR BOLTS
4	5/8" DIAMETER X 12" ANCHOR BOLTS @ 48" O.C.
5	5/8" DIAMETER X 12" ANCHOR BOLTS @ 32" O.C.
6	5/8" DIAMETER X 12" ANCHOR BOLTS @ 16" O.C.
7	5/8" DIAMETER X 12" ANCHOR BOLTS @ 8" O.C.
8	3/4" DIAMETER X 12" ANCHOR BOLTS @ 16" O.C.
9	3/4" DIAMETER X 12" ANCHOR BOLTS @ 8" O.C.

TO REPLACE MISSING OR MISLOCATED ANCHOR BOLTS, USE DETAIL (G594-2).



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NEW DETACHED ADU AT:
 31996 VIA DEL SENOR
 HOMELAND, CA 92548

FOUNDAION PLAN



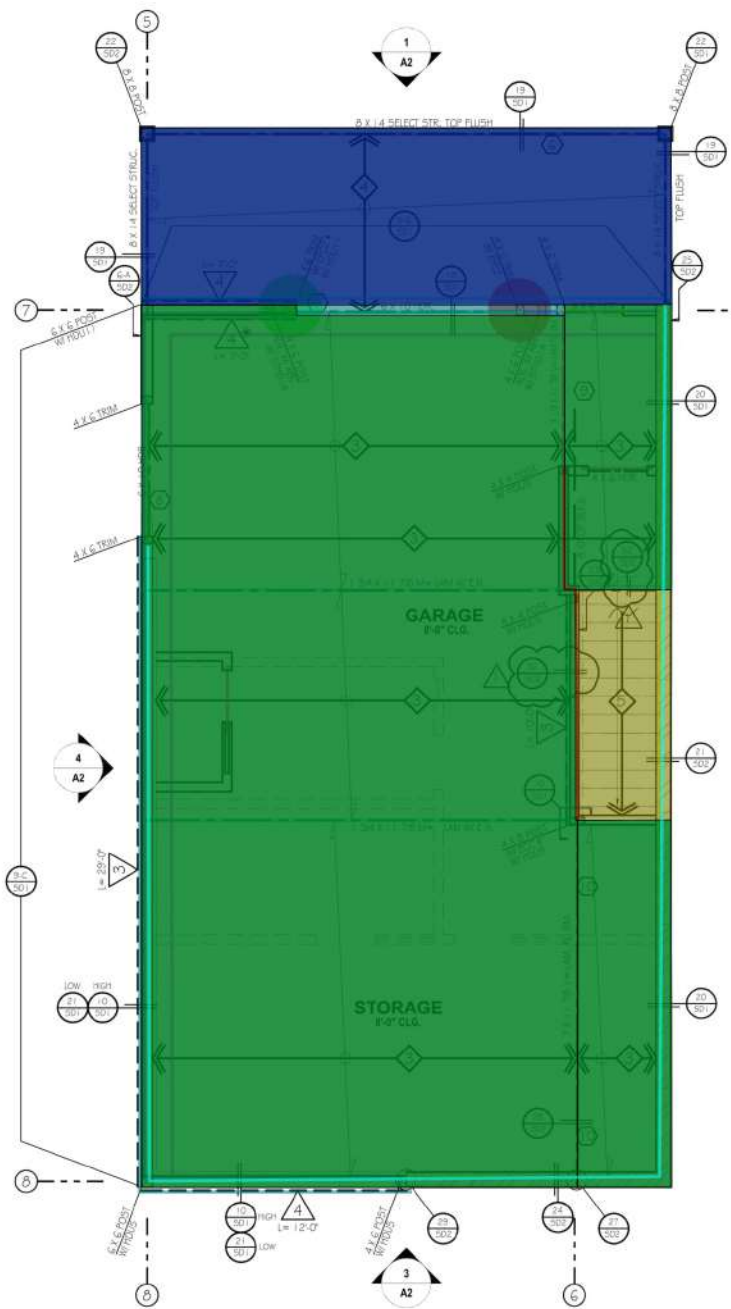
JOB#
 23-052

SCALE:
 1/4"=1'-0"

DESIGN BY:
 M.F.

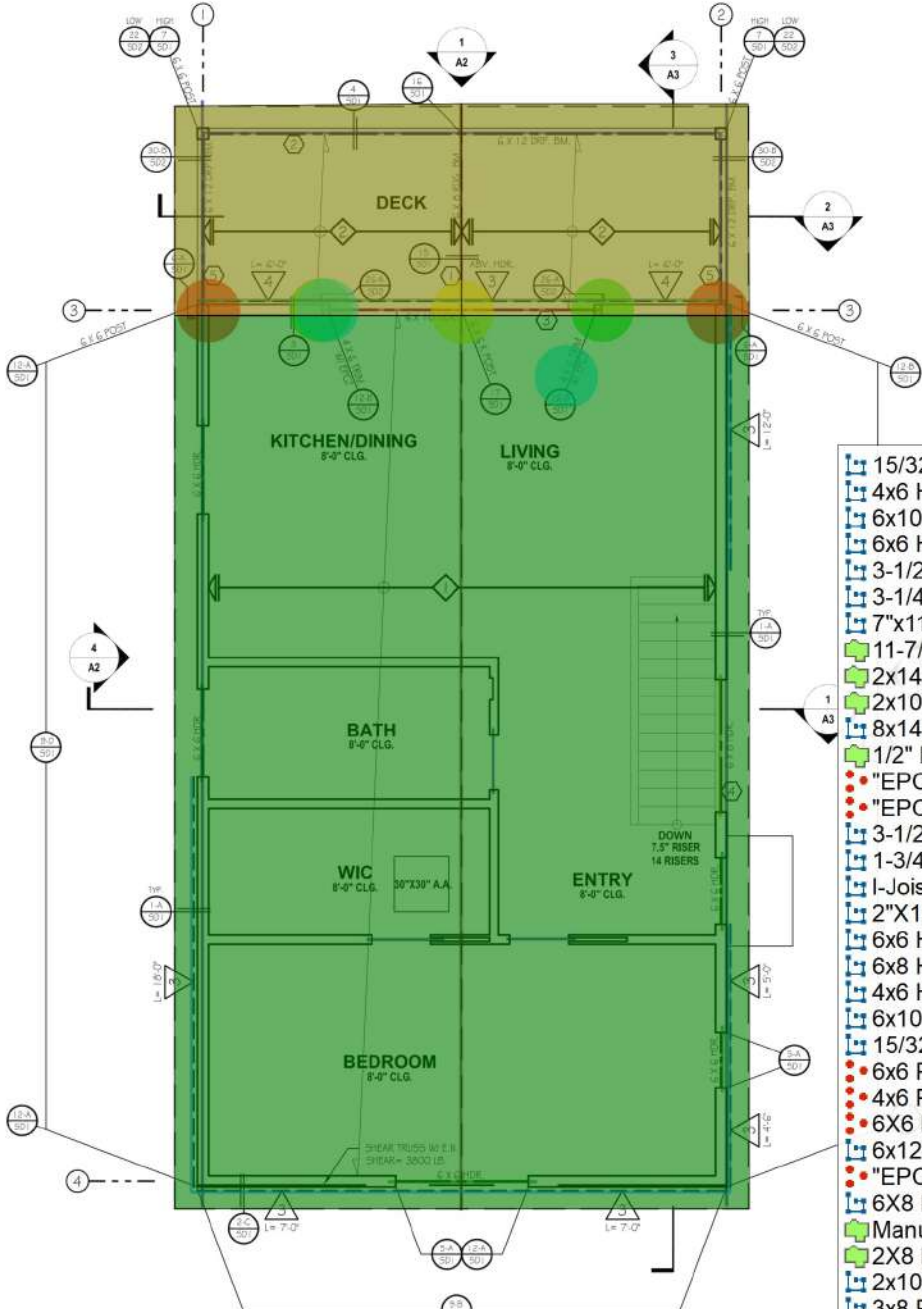
DRAWN BY:
 J.F.

S-1



FLOOR FRAMING PLAN

1/4"=1'-0"



ROOF FRAMING PLAN

1/4"=1'-0"

SHEAR WALL SCHEDULE			
S.W. TYPE	WALL SHEATHING	SILL PLATE NAILING ON WOOD FLOOR	SILL PLATE ANCHOR BOLTS ON FOUNDATION
1	15/32" APA RATED PLYWOOD WITH 8d COMMON NAILS AT 6" O.C. EDGES AND 12" O.C. FIELD (230 PLF)	16d SINKER @ 4" O.C.	5/8" Ø X 12" @ 48" O.C.
2	15/32" APA RATED PLYWOOD WITH 8d COMMON NAILS AT 4" O.C. EDGES AND 12" O.C. FIELD (350 PLF)	16d SINKER @ 3" O.C.	5/8" Ø X 12" @ 32" O.C.
3	15/32" STRUCTURAL I PLYWOOD WITH 10d COMMON NAILS AT 3" O.C. EDGES AND 12" O.C. FIELD (550 PLF)	16d SINKER @ 12" O.C. (3X SILL PLATE)	5/8" Ø X 12" @ 144" O.C.
4	15/32" STRUCTURAL I PLYWOOD WITH 10d COMMON NAILS AT 3" O.C. AT EDGES AND 12" O.C. FIELD (665 PLF)	16d SINKER @ 8" O.C. (3X SILL PLATE)	5/8" Ø X 12" @ 96" O.C.
5	15/32" STRUCTURAL I PLYWOOD WITH 10d COMMON NAILS AT 2" O.C. AT EDGES AND 12" O.C. FIELD (870 PLF)	16d SINKER @ 6" O.C. (3X SILL PLATE)	5/8" Ø X 12" @ 72" O.C.
6	15/32" STRUCTURAL I PLYWOOD WITH 10d COMMON NAILS AT 2" O.C. AT EDGES AND 12" O.C. FIELD (1110 PLF)	16d SINKER @ 6" O.C. (3X SILL PLATE)	5/8" Ø X 12" @ 72" O.C.
(1) PROVIDE 3" NOMINAL OR WIDER FRAMING AT ADJOINING PANEL EDGES WITH NAILS STAGGERED FOR SHEAR PANEL TYPES 4, 5 AND 6.			
(1) PROVIDE 3 X 3 MUD SILL PLATE WITH NAILS STAGGERED FOR SHEAR PANELS TYPE 4, 5 AND 6.			
* RUN PLYWOOD OVER POST AND/OR APPLY PLYWOOD BEFORE BOX-OUT			
- PROVIDE 1/2" EDGE DISTANCE FROM THE PANEL EDGES AND 1/2" FROM THE EDGE OF THE CONNECTING MEMBERS			
- ALL WOOD STRUCTURAL PANEL JOINT AND SILL PLATE NAILING SHALL BE STAGGERED AT ALL PANEL EDGES			

FRAMING NOTES

- A. BALLOON FRAMED WALLS USE 2X4 STUDS @ 16" O.C. TO 10'-0" IN HEIGHT OVER 10'-0" USE (2) 2X4 STUDS AT 16" O.C. TO 17'-6" IN HGT. FOR WALLS OVER 17'-6" IN HEIGHT USE (2) 2X4 STUDS AT 12" O.C. (U.O.N.)
- B. PROVIDE DOUBLE FLOOR JOIST UNDER ALL INTERIOR WALLS PARALLEL WITH FRAMING. USE SOLID BLOCKING UNDER INTERIOR WALLS PERPENDICULAR WITH FRAMING.
- C. SPLICE PLATES OF EXTERIOR WALLS AND SHEAR WALLS W/ (2) 16d AT 4'-0" SPLICE (U.O.N.)
- D. MULTI JOIST, (3) OR MORE SHALL BE FASTENED TOGETHER WITH 1/2" DIAMETER MACHINE BOLTS AT 16" O.C. STAGGERED (U.O.N.)
- E. ALL HEADERS TO BE 4X6 (U.O.N.)
- F. WRAP ALL EXPOSED POSTS AND BEAMS IN GARAGE WITH 5/8" TYPE 'X'

- 15/32" Shear Wall Sheathing W/ 8d Nails Equal Spacing 8'-0"H
- 4x6 Header
- 6x10 Header
- 6x6 Header
- 3-1/2"x11-7/8" FL Beam
- 3-1/4"x11-7/8" Beam
- 7"x11-7/8" FL Beam
- 11-7/8" TJI 360 Floor Joist @ 16" O.C
- 2x14 Stair Stringer @ 16" O.C
- 2x10 Deck Joist @ 16" O.C
- 8x14 Beam
- 1/2" Floor Plywood Sheathing (Assumed Size)
- "EPCZ46" Cap Tie
- "EPCZ66" Cap Tie
- 3-1/2"x14" Beam W/ A35 @ 16" O.C.....
- 1-3/4" Timber Strand LVL W/ A35 @ 48" O.C
- I-Joist Blocking 2"x12" W/ A35 @ 36" O.C
- 2"x12" Rim Joist W/ A35 Clip @ 16" o.c
- 6x6 Header
- 6x8 Header
- 4x6 Header
- 6x10 Header
- 15/32" Shear Wall Sheathing W/ 8d Nails Equal Spacing 7'-3"H
- 6x6 Post 7'-3" h
- 4x6 Post 7'-3" h
- 6X6 King Post 3'-6"h
- 6x12 Drop Beam
- "EPCZ46" Cap Tie
- 6X8 Ridge Beam
- Manufactured Roof Trusses @ 24" O.C W/ Roof Sheathing with...
- 2X8 Roof Rafter @ 24" O.C With Assumed Base Sheathing
- 2x10 Blocking W/ A35 @ 48" O.C
- 3x8 PT Plates
- 4x8 Blocking & 4"x4"x1/2 Steel Plate W/ (4) 3/8" 5" Lags

TRUSS NOTES

- ALL TRUSSES DESIGNED BY TRUSS MFR. SHALL BE DESIGNED TO SUSTAIN ANY VERTICAL, LATERAL OR ANY OTHER PERTINENT LOAD SUCH AS BRACING OF TOP CHORDS AND BOTTOM CHORDS IN ADDITION TO ANY CONNECTION RELATED TRUSSES.
- ALL TRUSSES TOP AND BOTTOM CHORDS SHALL BE D.F. #2 OR BETTER.
- ALL THE TRUSS HANGERS SHALL BE SPECIFIED BY THE TRUSS MFR.
- TRUSSES ARE A DEFERRED SUBMITTAL ITEM. TRUSS PLANS AND CALCULATIONS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD FOR REVIEW BEFORE SUBMITTING TO THE BUILDING DEPARTMENT. THE TRUSS DESIGN SHALL APPROVED BY THE BUILDING DEPARTMENT BEFORE THE TRUSSES ARE INSTALLED.
- PER CBC 2022 SECTION 1607, THE TRUSS COMPANY SHALL APPLY AN ADDITIONAL LOAD OF 10 PSF DEAD LOAD AND 20 PSF LIVE LOAD AT THE BOTTOM CHORD OF THE TRUSSES LOCATED AT UNINHABITABLE ATTIC WITH LIMITED STORAGE AREA.
- THE LIVE LOAD NEED ONLY TO BE APPLIED TO THOSE PORTIONS OF THE BOTTOM CHORD WHERE THERE ARE TWO OR MORE ADJACENT TRUSSES WITH THE SAME WEB CONFIGURATION CAPABLE OF CONTAINING A RECTANGLE 42 INCHES BY 2 FEET OR GREATER, LOCATED WITHIN THE PLANE OF THE TRUSS.
- TRUSSES CALCULATIONS AND LAYOUT PLAN WILL BE REVIEWED AND ACCEPTED BY ARCHITECT OR ENGINEER OF RECORD AND SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO INSTALLATION.

FRAMING LEGEND

- MANUFACTURED ROOF TRUSSES @ 24" O.C.
- 2 X 8 ROOF RAFTER @ 24" O.C.
- 11 7/8" TJI 360 FLOOR JOIST @ 16" O.C.
- 2 X 10 DECK JOIST @ 16" O.C.
- 2 X 14 STAIR STRINGERS @ 16" O.C.

DESIGN LOADS

- 1- ROOF DEAD LOAD = 25.0 PSF.
- * MAX. TILES WEIGHT IS 10.0 PSF. *
- 2- ROOF LIVE LOAD = 20.0 PSF.
- 3- WIND : EXPOSURE "C"
- 4- WIND SPEED : 110 MPH.
- 5- SITE CLASS "D" - DEFAULT.
- 6- S_s = 1.500 S_{ms} = 1.800
- S₁ = 0.600 S_{m1} = 1.000
- F_a = 1.200 S_{Dp} = 1.201
- F_v = 1.700 S_{D1} = 0.600

List of work requiring special inspection:

	CONTINUOUS INSPECTION	PERIODIC INSPECTION
[X] SOILS COMPLIANCE PRIOR TO FOUNDATION INSPECTION		X
[X] STRUCTURAL CONCRETE OVER 2500 psi	X	
[X] STRUCTURAL SHEAR PANELS (TYPE 3, 4, 5, 4 G)		X
[X] FIELD WELDING	X	
[X] EXPANSION EPOXY ANCHORS	X	

WATER/ WEATHER PROOFING

WE * FARAH ENGINEERING * ARE NOT IN ANY WAY OR CONDITION LIABLE FOR ANY WEATHER/WATER PROOFING DETAILS/MATERIALS OR METHODS. THIS SHALL BE OBTAINED BY OTHERS EG. ARCHITECTS, CONTRACTORS OR BUILDERS.



P.C.CORRECTION
7/17/2023

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66.5 FT	6.5 FT	17.7 FT	3.2 FT	7.3 FT	44.2 FT	16.9 FT	908.8 SQ FT	45.5 SQ FT	193.4 SQ FT	39.8 FT	1108.5 SQ FT	1.0 EA	1.0 EA	51.1 FT	74.4 FT	60.2 FT	24.1 FT	22.6 FT	6.5 FT	9.6 FT	13.0 FT	91.2 FT	2.0 EA	2.0 EA	1.0 EA	2.0 EA	39.0 FT	50.2 FT	1055.7 SQ FT	249.7 SQ FT	100.2 FT	91.5 FT	16.5 FT
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JOB# 23-052

SCALE: 1/4"=1'-0"

DESIGN BY: M.F.

DRAWN BY: J.F.

S-2